



The City Council of the City of St. Charles welcomes you to its
 Regular Meeting of Tuesday, February 22, 2022 at 6:00 p.m.
 at 830 Whitewater Avenue, City Council Chambers, St. Charles, Minnesota.

ITEM	ACTION REQUESTED
1. Call to Order	
2. Pledge of Allegiance	
3. Approval of the Agenda	
4. Notices and Communications –	
5. Review of Financials	
6. 2021 Winona County Recorder Update-Bob Bambenek	INFORMATION
7. 2022 WC Project Review-St. Charles Avenue	APPROVE
8. Heim ROW Easement Acquisition	APPROVE
9. Pay Request No. 8 – Maguire Iron	APPROVE
10. 2023 Plow Truck Box and Plow Reservation	APPROVE
11. Dahl Resignation	APPROVE
12. PD Summer Intern Candidate	APPROVE
13. Ambulance EMT Hiring	APPROVE
14. LMCIT Municipal Tort Liability Waiver	APPROVE
15. Garbage Can Purchase	APPROVE

UNSCHEDULED PUBLIC APPEARANCES: Members of the audience may address any item not on the agenda. State Statute prohibits the City Council from discussing an item that is not on the agenda, but the City Council does listen to your concerns and has staff follow up on any questions you raise.

ADJOURNMENT



MEMORANDUM for the CITY COUNCIL of St. Charles for
Tuesday, February 22, 2022

6. 2021 Winona County Recorder Update—Bob Bambenek. Information is included in the packet that County Recorder Bob Bambenek will be presenting as a 2021 review.

7. 2022 WC Project Review—St. Charles Avenue. Daren Sikkink of WHKS will be in attendance to present the Winona County St. Charles Avenue 2022 construction project for comment/approval. The City is partnering with Winona County to improve the road and has asked for Council approval of the project.

8. Heim Right of Way Easement Acquisition. As part of the 2021 street project, the alley was extended between 13th and 14th Street to alleviate past issues with plowing and maintenance. A right of way easement was agreed upon in order to expedite the process. The agreement is included for consideration.

9. Pay Request No. 8—Maguire Iron. Enclosed is pay request No. 8 for consideration.

10. 2023 Plow Truck Box and Plow Reservation. Please see Request For Council Action. PW Foreman Scott Bunke will be present to answer any questions.

11. Dahl Resignation. Deputy Clerk Janell Dahl has submitted her letter indicating her desire to retire April 29, 2022 for consideration and approval.

12. PD Summer Internship Candidate. A recommendation to approve the 2022 Summer PD Internship Candidate is included in the packet for consideration.

13. Ambulance EMT Hiring. It is recommended that upon a successful interview/background that Quinn O’Leary be considered for hiring to begin EMT class.

14. LMCIT Municipal Tort Liability Waiver. Enclosed in the annual LMCIT document for consideration. The City DOES NOT WAIVE its liability limits.

15. Garbage Can Purchase. Please see the Request for Council Action for purchase of 10 garbage cans.

City of St. Charles
830 Whitewater Avenue
St. Charles, MN 55972

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www.stcharlesmn.org



MAYOR: JOHN SCHABER, COUNCIL: DAVID BRAUN, WAYNE GETZ, DAVID KRAMER, JOHN STEFFEL ADM.: NICK KOVERMAN

February 17, 2022

Charles and Phyllis Schultz
525 4th Street East
St. Charles, MN 55972

RE: Installation and Maintenance of 4th Street Sidewalk/Retaining Wall (2021)

Dear Mr. and Mrs. Schultz:

I am writing this letter on behalf of the St. Charles City Council with respect to the sidewalk and retaining wall installed in the public right of way along East 4th Street adjacent to your property during the 2021 Street/Sidewalk construction project. First of all, thank you for your patience as crews worked this past summer to install the pedestrian facilities that allowed for this safe pedestrian corridor.

As was discussed with Public Works Director Kyle Karger, the City intends to maintain the retaining wall and related sidewalks/ramps including the clearing of snow as well as future basic maintenance and upkeep due to the steep slope and topography and location of the sidewalk and retaining wall.

Again, we very much appreciate your willingness to work with City staff as we worked together to make our neighborhoods safer through the addition of pedestrian facilities like these.

Sincerely,

Nick Koverman, City Administrator

Cc: John Schaber, Mayor



WINONA COUNTY RECORDER'S OFFICE

2021 REAL ESTATE HIGHLIGHTS

- Demand for homes, land and commercial properties is unprecedented. Record numbers of sales have also produced record sale prices in a very competitive market.
- 764 homes sold during 2021, up from 725 in 2020. An increase of 5.5%.
- The price range with the most sales, 198, was \$150,000 to \$200,000. One year earlier, the most sales, 185, occurred in the \$100,000 to \$150,000 price range.
- 80% of the homes sold during the last quarter of 2021 were priced above the county market value.
- The most expensive home in 2021, located on Apple Blossom Drive, sold for \$899,000.
- 57% of the home sales in 2021 were in the City of Winona. In 2020, Winona accounted for 51% of the home sales.
- Home interest rates are the lowest in history, about 2%.
- Over 68 million dollars of commercial property sold during 2021. This compares with 30 million during 2020.

Commercial Sales included:

- Peerless Chain - \$14,000,000
 - The strip mall near Walmart that includes Aspen Dental and several other businesses. - \$5,474,000
 - Two undeveloped parcels near Walmart and Menards - \$566,000 and \$650,000
 - The former Lad Motel at Highway 43 & 61, now part of the Kwik Trip expansion. - \$1,150,000
 - The strip mall at the NE corner of the Winona Mall which includes Taco John's and several more businesses. - \$1,850,000
 - Culvers - \$3,300,000
 - The former Betty Jo's located at Center and Second Streets. - \$750,000
 - The former Pro Built property at Second and Washington Streets. \$580,000
 - The Carriage House Bed & Breakfast on Main Street. - \$700,000
 - The largest group of sales, about 50, were Rental Homes and Apartments.
 - Lewiston – Crocus Senior Living sold for \$1,900,000.
 - Pickwick Fire & Rescue purchased additional land for \$35,000 for building expansion.
 - The John Deere Implement just outside the City of St. Charles - \$1,820,000.
 - Utica – Driftless Holdings Ag sold for \$550,000.
- Countywide, there were 73 land sales in 2021. 30 million was paid for 5,030 acres. Some sales included buildings.
 - Sale prices for the tillable farmland ranged from \$5,000 to \$12,763 per acre. The price range for wooded acres was \$3,000 to \$8,556 per acre.

**Winona County Residential Sales
Purchase Price Numbers**

2021 Purchase Price:	Jan.	Feb.	Mar.	Apr.	May	Jun.	Jul.	Aug.	Sep.	Oct.	Nov.	Dec.	Year Total
To \$100,000	8	4	4	1	7	6	6	7	12	8	8	4	75
\$100,000 to \$150,000	8	11	14	16	14	11	11	12	17	15	17	9	155
\$150,000 to \$200,000	10	13	13	13	11	20	17	16	18	25	22	20	198
\$200,000 to \$250,000	7	11	6	8	8	9	12	16	16	11	13	9	126
\$250,000 to \$300,000	5	1	6	5	4	7	11	11	5	11	10	4	80
\$300,000 to \$350,000	1	1	1	5	4	5	4	4	4	1	6	5	41
\$350,000 to \$400,000	1	2	0	3	1	2	7	2	4	3	2	3	30
\$400,000 & Over	5	3	3	3	6	5	8	7	8	4	5	2	59
Total:	45	46	47	54	55	65	76	75	84	78	83	56	764
2020 Purchase Price:	Jan.	Feb.	Mar.	Apr.	May	Jun.	Jul.	Aug.	Sep.	Oct.	Nov.	Dec.	Year Total
To \$100,000	2	6	6	9	4	10	9	7	13	13	4	13	96
\$100,000 to \$150,000	7	14	10	14	19	25	17	15	23	16	8	17	185
\$150,000 to \$200,000	6	10	9	7	17	9	22	15	17	22	14	29	177
\$200,000 to \$250,000	5	5	2	2	9	15	7	10	8	11	15	16	105
\$250,000 to \$300,000	2	4	3	8	7	0	8	7	4	9	8	5	65
\$300,000 to \$350,000	0	1	1	0	4	4	5	2	2	4	5	5	33
\$350,000 to \$400,000	0	1	2	1	3	2	4	6	4	4	1	8	36
\$400,000 & Over	1	1	1	2	1	2	5	1	3	2	3	6	28
Total:	23	42	34	43	64	67	77	63	74	81	58	99	725
2019 Purchase Price:	Jan.	Feb.	Mar.	Apr.	May	Jun.	Jul.	Aug.	Sep.	Oct.	Nov.	Dec.	Year Total
To \$100,000	5	8	6	9	14	14	11	6	13	10	2	11	109
\$100,000 to \$150,000	10	13	11	15	20	8	23	24	20	24	19	14	201
\$150,000 to \$200,000	7	9	8	9	18	10	30	17	11	11	13	11	154
\$200,000 to \$250,000	5	5	8	7	10	9	13	8	11	11	8	9	104
\$250,000 to \$300,000	4	3	3	1	7	8	10	9	4	4	6	5	64
\$300,000 to \$350,000	0	0	1	2	1	5	2	4	1	2	3	3	24
\$350,000 to \$400,000	2	1	0	4	1	2	2	3	2	0	1	1	19
\$400,000 & Over	0	1	2	2	3	0	4	4	1	3	7	1	28
Total:	33	40	39	49	74	56	95	75	63	65	59	55	703

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Winona County Recorder

RESIDENTIAL RECORDED SALES - OCTOBER 2021

PARCEL NUMBER	LOCATION	PURCHASE PRICE	EMV	BUYER	SELLER	DOCUMENT NO.	e-CRV NO.
32.310.0090	717 Main St, Winona	\$417,500.00	\$279,200.00	Severson	Paddock	637350	1315377
08.000.0880	42000 County Rd 104, Dakota	\$30,000.00	\$22,800.00	Welter	Kosen Family Trust	637331	1324580
32.360.0550	1062 Gilmore Ave, Winona	\$240,000.00	\$234,000.00	Peterson	Weilandt	637326	1324697
24.035.0430	850 40th Ave, Goodview	\$175,000.00	\$132,700.00	Jacobson	Baures	637372	1324652
24.035.0430	850 40th Ave, Goodview	\$175,000.00	\$132,700.00	Ramirez	Jacobson	637373	1324668
32.460.0070	177 Sanborn, Winona	\$180,000.00	\$180,300.00	Highland Home Rentals, LLC	Alexander Real Estate, LLC	637378	1324949
27.000.0030	158 Church St, MN City	\$145,000.00	\$132,600.00	Wicka	Jacocks	637406	1326689
29.080.0040	1112 Bluff Ave, St. Charles	\$195,000.00	\$159,000.00	Awosika	Chiglo	637454	1319343
32.520.0010	1253 W 5th St, Winona	\$175,000.00	\$148,800.00	Pinkerton	Hawley	10972	1326872
32.200.2380	704 E Broadway, Winona	\$126,000.00	\$57,900.00	Smokey	Burkhart	637427	1326892
32.320.0630	574 Sunset Dr, Winona	\$260,000.00	\$225,900.00	Pacl	Johnrud	637429	1326902
32.320.0640	574 Sunset Dr, Winona	\$260,000.00	\$225,900.00	Pacl	Johnrud	637429	1326902
32.355.0090	22 Otis St, Winona	\$169,900.00	\$132,400.00	Ciszak/Franklin	Leifeld	637446	1327150
12.000.0320	16469 Denzer Rd, MN City	\$177,000.00	\$117,300.00	Oevering	Eickhoff	637411	1326806
32.145.0120	1283 Randall St, Winona	\$194,900.00	\$185,600.00	Stellick	Heise Trust	637416	1326842
32.090.0480	1207 W 5th St, Winona	\$129,400.00	\$127,000.00	Mierau	Moore	637419	1326846
24.095.0050	715 37th Ave, Goodview	\$240,000.00	\$205,600.00	Neumann	Malm	637493	1328003
29.010.1010	1513 Whitewater Ave, St. Charles	\$98,000.00	\$107,100.00	SEW Properties One, LLC	Chaffee	637562	1327997
28.038.0050	171 Rimrock Rd, Rollingstone	\$27,000.00	\$40,000.00	Schroeder	Bremer Oreo MN Inc	637559	1322867
21.041.0020	151 Grandview Dr, NW, Altura	\$260,000.00	\$226,200.00	Monahan	Speltz Estate	637528	1328322
04.000.2010	32593 Co Rd, 109, Lewiston	\$220,000.00	\$172,600.00	Finch	Honsey Estate	637576	1307367
32.240.1150	602 E 9th St, Winona	\$110,000.00	\$114,800.00	Jacobson	Gillett	637581	1329216
32.240.1150	602 E 9th St, Winona	\$110,000.00	\$114,800.00	Edwards	Jacobson	637582	1328775
29.035.0170	1425 Sunset Dr, St. Charles	\$200,000.00	\$165,800.00	Wenzel	Denzer	637625	1329972
32.286.0050	80 Valley Trail Dr, Winona	\$205,000.00	\$188,400.00	Gutierrez	Votruba	637605	1329832
32.287.0050	131 Valley Trail Dr, Winona	\$210,000.00	\$182,500.00	Votruba	Speltz	637600	1329807
32.000.5490	351 W 4th St, Winona	\$187,000.00	\$171,100.00	Johnson/Smith	Beckmann	637594	1329733
32.160.0440	777 W 6th St, Winona	\$210,000.00	\$171,800.00	Harder	Mylrea	637641	1330317
16.000.2080	24478 Almon Dr, Lewiston	\$670,000.00	\$633,400.00	Bartram/Dewar	Flathers	637643	1330327
32.240.0680	716 E 8th St, Winona	\$112,500.00	\$82,700.00	Carter	Powell	637649	1330340
32.310.1070	113 E Sarnia St, Winona	\$294,000.00	\$196,800.00	Wohlfeil	Volkman	637654	1330348
32.000.2990	261 & 263 Walnut St, Winona	\$291,700.00	\$271,800.00	Zean	Agrimson	637696	1330290
22.025.0060	320 Hiawatha Hills Rd, Dakota	\$229,900.00	\$184,600.00	Hess	Coldwater	637682	1330812
29.000.1426	225 Wiskow Way, St. Charles	\$459,000.00	\$351,400.00	Flitterer	Wiskow	637693	1330883
32.090.0920	1079 W 5th St, Winona	\$96,000.00	\$100,800.00	Barber	Beeman	637704	1330996
25.025.0030	200 1st Street SW, Lewiston	\$160,000.00	\$152,000.00	Kennedy-Schwier	Nuszloch	637687	1326415
29.010.0750	1466 St Charles Ave, St. Charles	\$179,000.00	\$145,800.00	Hoffmann	Hewitt (et al)	637723	1323721
25.055.0130	160 E Main St, Lewiston	\$35,000.00	\$52,700.00	Loss	Wilson	637726	1331926
32.230.0520	1923 W Mark St, Winona	\$207,000.00	\$167,200.00	Stampka	Flanagan	637762	1330767
32.417.0060	1425 Ridgewood Dr, Winona	\$385,000.00	\$294,000.00	Merchlewitz	Duellman	637760	1331960
32.070.1380	676 W 4th St, Winona	\$119,000.00	\$69,700.00	Hawkings	Janikowski	637768	1332302
32.288.0130	127 Jederman Dr, Winona	\$256,000.00	\$207,200.00	McCabe	Speltz	637766	1332384
32.320.4380	121 E Lake Blvd, Winona	\$159,900.00	\$126,400.00	Tullius	Mueller	637797	1333236
32.140.0230	1012 W 10th St, Winona	\$174,000.00	\$120,700.00	Orlikowski	Vajgrt	637799	1333257
32.230.0420	1922 W 9th St, Winona	\$271,750.00	\$227,300.00	Vajgrt	Meier	637803	1333272
27.000.1020	120 Minnesota St, Winona	\$158,000.00	\$152,500.00	Chadbourn	McCorquodale	637805	1333309

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PARCEL NUMBER	LOCATION	PURCHASE PRICE	EMV	BUYER	SELLER	DOCUMENT NO.	e-CRV NO.
32.200.0280	569 E Front St, Winona	\$105,900.00	\$87,700.00	Miller Waste Mills Inc	Kulas	637833	1333535
24.037.0030	485 Connie Dr, MN City	\$375,000.00	N/A	Wollan	McCorquodale	637825	1333620
21.105.0010	112 S Main St, Altura	\$95,000.00	\$85,300.00	Tlatemohue/Flores	Hohmann	637843	1331537
32.587.0050	217 Wilson St, Winona	\$187,500.00	\$140,700.00	Ayotte/Rockwell	Smith	637849	1333407
32.320.3680	508 Maceman St, Winona	\$250,000.00	\$201,900.00	Joswick	Ziegler	637857	1333765
32.200.2960	563 E 6th St, Winona	\$219,900.00	\$166,900.00	Elmquist	Voerding	637852	1333785
32.185.0150	544 Glenview Dr, Winona	\$185,000.00	\$131,500.00	Emmons/Repinski	Lux	637859	1333896
24.080.0430	4928 W 8th St, Winona	\$239,000.00	\$204,000.00	Brink	Gutierrez	637930	1334505
32.000.9470	411 Sioux St, Winona	\$160,000.00	\$145,100.00	Oevering Trust	Schendel	637934	1334613
24.033.0190	3550 W 8th St, Goodview	\$279,900.00	\$238,700.00	Mason	Wachowiak	637932	1334683
32.585.1100	1365 Conrad Dr, Winona	\$269,900.00	\$237,600.00	Jacob	Mason	637922	1334997
32.385.0260	1505 Clubview Rd, Winona	\$284,000.00	\$212,700.00	Helms	Ong	637945	1335550
09.000.2921	18315 Co Rd 20, Altura	\$30,000.00	\$97,600.00	Kurth	Domke	638003	1336166
32.375.0120	1352C McNally Dr, Winona	\$179,900.00	\$120,600.00	Ramer	Jacob	638006	1336405
22.005.0030	180 Bluffview Dr, Dakota	\$60,000.00	\$151,400.00	Sam and Will Investments, LLC	Altra Federal Credit Union	638004	1336408
09.000.2790	21407 County Rd 33, Altura	\$375,000.00	\$253,400.00	Hanson	Kramer Trust	638030	1312048
32.004.0020	125 Jay Bee Dr, Winona	\$485,000.00	\$408,100.00	Hamiel	Prenatt	638043	1325408
32.210.0250	330 Elm St, Winona	\$184,000.00	\$174,500.00	Landherr	Helms	638014	1335444
24.035.0390	814 40th Ave, Winona	\$135,000.00	\$129,200.00	Sprout	Vang	638024	1335516
24.038.0050	1074 Bay Dr, MN City	\$350,000.00	\$304,600.00	Doring	Krage	638019	1336527
21.060.0050	19 2nd Ave SE, Altura	\$183,000.00	\$146,100.00	Hernandez	Roraff/Drussell	638038	1336695
12.015.1410	87 Wenonah Rd, MN City	\$270,500.00	\$225,200.00	Lux/Creeley	Anderson	638045	1336869
32.100.0280	467 E 8th St, Winona	\$151,000.00	\$106,600.00	Green Terrace, LLC	Fliehr	638048	1336909
32.030.0790	126 Lenox St, Winona	\$172,000.00	\$141,700.00	Davis/Wolter	Churkey/Ziemendorf	638053	1336887
32.320.2440	975 W 2nd St, Winona	\$147,900.00	\$108,700.00	McNall	Rose	638056	1337158
25.020.0180	425 1st Ave N, Lewiston	\$142,450.00	\$174,400.00	Egert	Rosenau	638065	1337162
32.575.0080	462 Baker St S, Winona	\$175,000.00	\$152,900.00	Horn	Brink	638068	1337164
32.300.2040	422 E 6th St, Winona	\$142,300.00	\$89,500.00	Grund	Prigge	638094	1337165
32.240.2810	403 Chatfield St, Winona	\$111,800.00	\$90,800.00	Averbeck	Rowland	638075	1337166
32.415.0270	1118 Marian St, Winona	\$150,000.00	\$119,200.00	Bentzen	Inglett	638078	1337169
32.040.1170	722 Gilmore Ave, Winona	\$159,900.00	\$142,200.00	Blackmond	ST Management, LLC	638081	1337170
29.057.0020	106 Renea Dr, St. Charles	\$275,900.00	\$221,300.00	Pappe	Louprasong	638138	1321618
32.505.1130	663 Dakota St, Winona	\$150,000.00	\$161,700.00	Sykes	Wait	638140	1327630

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RESIDENTIAL RECORDED SALES - NOVEMBER 2021

PARCEL NUMBER	LOCATION	PURCHASE PRICE	EMV	BUYER	SELLER	DOCUMENT NO.	e-CRV NO.
32.000.9470	411 Sioux St, Winona	\$160,000.00	\$145,100.00	McCormick	Oevering	638158	1335128
32.200.4430	124 High Forest St, Winona	\$37,250.00	\$65,600.00	Pringle	Zieman	638165	1337635
32.240.0860	722 E King St, Winona	\$85,500.00	\$97,100.00	Marcum	Wurm	638198	1340193
32.455.0030	460 Lafayette St, Winona	\$122,760.00	\$150,600.00	McMann	Winona Family Properties, LLC	638196	1340205
32.281.0130	406 Pleasant Hill Dr, Winona	\$355,000.00	\$269,500.00	Tschida	Sharpe/Schultz Trust	638203	1340229
32.320.4930	1411 Heights Boulevard, Winona	\$505,000.00	\$300,700.00	Herbert	Wollan Trust	638215	1340410
32.040.1430	761 W 11th St, Winona	\$160,000.00	\$140,200.00	Cyert	Mansfield	638206	1340448
32.375.0030	1378A McNally Dr, Winona	\$210,000.00	\$155,000.00	Northam/Wera	Rockwell/Ayotte	638262	1340103
32.185.0360	454 Glenview Dr, Winona	\$250,000.00	\$186,900.00	Long	Perry Trust	638233	1340104
29.010.0881	260 W 15th St, St. Charles	\$150,000.00	\$111,900.00	Byington	Wegman	638291	1340630
32.517.0250	166 Treetops Lane, Winona	\$233,500.00	\$208,500.00	Thompson	Merchlewitz	638237	1340894
24.040.0390	880 39th Ave, Goodview	\$144,000.00	\$113,500.00	Larson/Kleinschmidt	Phillips	638239	1340922
32.310.0790	612 Center St, Winona	\$195,000.00	\$144,900.00	Bentzler/Aschutz	Brown	638245	1340923
24.134.0340	1390 50th Ave, Goodview	\$420,000.00	\$388,400.00	Sheldon/Williams	Matthees Estate	638259	1340925
32.320.2770	836 W 7th St, Winona	\$250,000.00	\$209,200.00	Haucke	Homola	638265	1340926
32.000.9270	573 W 8th St, Winona	\$115,000.00	\$46,100.00	Behrends	Dais/Remlinger	638267	1340927
32.000.9980	459 Grand St, Winona	\$135,900.00	\$125,200.00	Bramwell	Brady	638269	1340928
29.080.0210	925 Bluff Ave, St. Charles	\$130,000.00	\$114,200.00	Holm	Holm	638275	1341167
32.040.1440	763 W 11th St, Winona	\$117,000.00	\$110,700.00	Powers	Sunrise-Sunset Rentals, LLC	638277	1340585
32.563.0060	120 Whispering Lane, Winona	\$339,900.00	\$234,800.00	Byron	Blaser	638302	1329256
32.240.1800	652 E 10th St, Winona	\$43,431.53	\$108,500.00	Peterson	J A Kuehn and Company, LLC	638306	1340559
32.240.2440	560 E 11th St, Winona	\$147,900.00	\$109,300.00	Triggs	Lampert	638358	1340472
29.045.0170	942 St Charles Ave, St. Charles	\$225,000.00	\$137,100.00	Countryman	Hanson	638397	1325195
16.000.0400	24530 US Hwy 14, Winona	\$300,000.00	\$278,800.00	Xiong	Kiese	638410	1343189
32.240.2650	363 Chatfield St, Winona	\$173,000.00	\$140,400.00	Goettl	Einsman	638404	1343283
22.015.0340	845 Main St, Dakota	\$164,900.00	\$123,500.00	Kutz	Prigge	638438	1337788
32.521.0020	55 Brinkyard Lane, Winona	\$298,000.00	\$240,500.00	Bass	Roemer	638424	1338552
32.315.1210	276 W 12th St, Winona	\$187,000.00	\$124,700.00	Winona State University	Berndt	638428	1341688
24.000.0420	4548 W 6th St, Goodview	\$110,000.00	\$105,400.00	Schug	Alexander	638465	1342731
32.175.0340	1062 Glen Echo Rd, Winona	\$270,000.00	\$211,500.00	Jensen	Barkeim	10981	1342733
31.003.0010	312 Railroad St, Utica	\$249,900.00	N/A	Kiese	Whitewater Properties, LLC	638457	1342739
29.066.0020	913 Clover Court, St. Charles	\$121,500.00	\$132,700.00	Ties	Loppnow	638483	1342619
31.002.0010	300 Railroad St, Utica	\$260,000.00	\$189,800.00	Wegman	Ploetz	638498	1343195
06.000.7010	2382 Meadow Ln, Winona	\$370,500.00	\$309,500.00	Barkeim	Sanborn	638474	1342735
24.128.0060	4830 13th St, Goodview	\$263,000.00	\$255,100.00	Iacobo	Horn	638523	1344584
32.160.0160	870 W 5th St, Winona	\$153,000.00	\$129,600.00	Uthke/Cullen	Wilhelmsen	638517	1344025
32.380.0080	1316 B McNally Dr, Winona	\$199,000.00	\$139,200.00	Steele	Scott	638516	1344024
32.002.0020	1127 Sugar Loaf Rd, Winona	\$160,000.00	\$128,900.00	Ford	Holden	638512	1344027
32.315.1000	224 E Sarnia St, Winona	\$220,000.00	\$191,000.00	Shakespeare Properties, LLC	Smith	638511	1344026
24.105.0120	860 41st Ave, Goodview	\$225,000.00	\$152,500.00	Kanz	Luedtke	638507	1344023
32.000.8350	126 W 8th St, Winona	\$325,000.00	\$256,600.00	Lash	Thorson	638504	1344022
24.129.0100	1480 48th Ave, Goodview	\$325,000.00	\$283,100.00	Smith	Sagar	638587	1344994
06.000.6900	2177 Clinton Dr, Winona	\$520,000.00	\$412,600.00	Sanborn	Retzinger Trust	638583	1345625
24.034.0070	3545 W 8th St, Winona	\$224,900.00	\$226,700.00	Ellison	Hoover	638590	1345650
09.000.2590	20751 County Rd 33, Altura	\$279,500.00	\$264,600.00	Rusert	Walch	638625	1326930
24.016.0040	740 53rd Ave, Goodview	\$262,500.00	\$228,600.00	Divine House Properties, LLP	Casey	638648	1346154
29.010.0850	1542 St Charles Ave, St. Charles	\$262,000.00	\$178,800.00	Abel	Bloom	638665	1343821

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RESIDENTIAL RECORDED SALES - NOVEMBER 2021

PARCEL NUMBER	LOCATION	PURCHASE PRICE	EMV	BUYER	SELLER	DOCUMENT NO.	e-CRV NO.
32.305.0170	349 E Lake Blvd, Winona	\$309,900.00	\$229,300.00	Voigt	Cole/Dahle	638682	1344210
32.000.9290	413 Dakota St, Winona	\$100,000.00	\$153,100.00	Hoffer	Weigel	638699	1346260
32.070.1620	622 W 4th St, Winona	\$156,000.00	\$97,600.00	Cole	Rumpca	638701	1346261
24.055.0070	4235 6th St, Goodview	\$172,000.00	\$120,000.00	Lepsch	Dahl/Maloney	638703	1346262
32.350.0680	355 W 11th St, Winona	\$175,000.00	\$132,200.00	Ritter/Bethhauser	Demaske	638708	1346263
07.000.1311	12283 County Rd 31, Altura	\$290,000.00	\$191,100.00	Johnson	Schwager	638733	1346264
32.070.1790	560 W 4th St, Winona	\$159,000.00	\$141,800.00	Woosley	Loesch	638745	1346266
32.315.0030	555 Mankato Ave, Winona	\$214,000.00	\$245,300.00	Grover	Walchak	638739	1347713
32.081.0330	161 Janet Marie Ln, Winona	\$200,000.00	\$203,500.00	Casey	Van Demark	638748	1348434
32.200.0240	528 E 2nd St, Winona	\$195,000.00	\$165,100.00	Dahle	Burton	638767	1346259
32.445.0040	1775 Gilmore Ave, Winona	\$205,000.00	\$184,100.00	Bielinski	Allin	638775	1348457
01.000.1070	31066 Old Mill Rd, Dresbach	\$875,000.00	\$408,600.00	Graf/Harring	Stenger Trust	638764	1348495
32.001.1050	278 E 4th St, Winona	\$175,000.00	\$158,600.00	Holtmeier	Brown Properties of Winona, LLC	638800	1348205
32.329.2790	510 W Burns Valley Rd, Winona	\$17,000.00	\$56,000.00	Kronebusch	Green Trust	638792	1348484
32.010.0060	389 Hillview Dr, Winona	\$230,000.00	\$185,100.00	Hadley	Masyga	638849	1347345
32.285.0070	679 12th St West, Winona	\$175,000.00	\$127,500.00	Crandall	Johns	638856	1350098
32.200.7620	1027 E Wabasha St, Winona	\$160,100.00	\$137,000.00	RoJo Properties, LLC	Conway/Schell	638834	1350248
32.235.0220	181 E Howard St, Winona	\$180,000.00	\$162,700.00	RoJo Properties, LLC	Dean	638861	1350253
32.001.0590	263 Franklin St, Winona	\$125,000.00	\$144,900.00	Aspen Property Management, LLC	Sunrise-Sunset Rentals, LLC	638836	1350297
32.040.1620	825 W 11th St, Winona	\$132,000.00	\$100,300.00	Klinger	Oldham	638910	1337168
29.060.2340	219 E 7th St, St. Charles	\$218,500.00	\$172,800.00	Bergan	Nelson	638927	1342415
32.340.0360	702 Winona St, Winona	\$97,500.00	\$105,300.00	Rourke	Pellowski	638880	1348289
32.430.0710	274 Chatfield, Winona	\$109,300.00	\$105,300.00	McGrory	Hall	638887	1350584
29.000.0480	455 W 5th St, St. Charles	\$309,000.00	\$234,200.00	Andring	Kieffer Trust	638898	1351109
14.000.2382	12476 Nichols Spring Dr, Chatfield	\$305,000.00	\$264,800.00	Berge	Bell	638981	1342567
32.070.1540	657 W 3rd St, Winona	\$128,600.00	\$100,800.00	Wehlage	Hamernik	638977	1352111
32.000.9380	576 W 9th St, Winona	\$154,900.00	\$155,400.00	Olson	Alexander Real Estate, LLC	638969	1351772
32.240.2381	575 Zumbro St, Winona	\$139,000.00	\$136,200.00	Olson/Cordova	Wind	638961	1340919
32.200.4160	803 E 2nd St, Winona	\$90,000.00	\$45,200.00	Lemek	Kern	638956	1351774
32.000.9230	561 W 8th St, Winona	\$106,000.00	\$92,900.00	Miller	Deters/Wilson	638954	1351769
32.240.2110	702 E 11th St, Winona	\$135,000.00	\$107,600.00	Atobell	Rediske	638942	1351068
32.275.0890	252 Pleasant Hill Dr, Winona	\$450,000.00	\$422,800.00	Ball	Sharpe/Schultz Trust	638940	1351064
32.110.0160	470 E 11th St, Winona	\$105,000.00	\$85,500.00	Miller	Fox	638937	1351059
32.320.5590	1079 Gilmore Ave, Winona	\$170,000.00	\$152,900.00	Spinler	Merchlewitz	638935	1351056
32.000.4040	208 W 7th St, Winona	\$285,000.00	\$216,500.00	Li/Bai	Ziegeweld Trust	638933	1351054
32.000.9380	576 W 9th St, Winona	\$154,900.00	\$155,400.00	Olson	Alexander Real Estate, LLC	638969	1351772

RESIDENTIAL RECORDED SALES - DECEMBER 2021

PARCEL NUMBER	LOCATION	PURCHASE PRICE	EMV	BUYER	SELLER	DOCUMENT NO.	e-CRV NO.
24.045.0160	650 46th Ave. Goodview	\$194,500.00	\$142,400.00	Jonsgaard	Flatness Estate	639049	1354015
32.240.2860	410 Mankato Ave	\$98,000.00	\$76,700.00	Simonc	Green Acres Properties, LLC	639052	1354043
32.235.0220	181 E Howard, Winona	\$195,000.00	\$162,700.00	One Swing, LLC	RoJo Properties, LLC	639100	1349210
06.000.7080	2424 Carolyn Place, Winona	\$420,000.00	\$361,200.00	Larson Trust	Enochs	639059	1353947
32.200.3470	717 E 2nd St, Winona	\$125,000.00	\$80,000.00	Block	Smith	639064	1354067
29.041.0050	1111 Idso Court, St. Charles	\$325,000.00	\$284,900.00	Hedman	Nelson	639096	1354545
32.375.0220	1340 McNally Dr G, Winona	\$175,000.00	\$147,900.00	Weiss	Henthorne	639122	1353844
10.000.1961	30037 Hwy 76, Houston	\$300,000.00	\$301,800.00	Krage	Corcoran	639112	1354493
32.010.0390	1395 Brookview Dr, Winona	\$275,000.00	\$218,100.00	Masyga	Conrad	639141	1348566
28.005.0240	232 Golden Ave, Rollingstone	\$229,900.00	\$191,400.00	Westaby	Ellison	639173	1353150
22.015.0370	940 River St, Dakota	\$165,000.00	\$138,000.00	Mathes	Haug	639169	1355412
22.015.0360	920 River St, Dakota	\$40,000.00	\$35,200.00	Mathes	Haug	639171	1355639
32.200.2280	261 High Forest St, Winona	\$80,000.00	\$58,200.00	Blahnik	Larkie	639158	1355974
29.060.1650	506 Whitewater Ave, St. Charles	\$173,000.00	\$127,600.00	Hammel	Bergan/Heim	639175	1356179
32.200.7460	1013 E 8th St, Winona	\$75,000.00	\$46,800.00	Barker	Whalen	639224	1348037
29.030.0170	1537 Oakview Dr, St. Charles	\$205,000.00	\$191,900.00	Nelson/Cota	Rusert	639217	1351438
32.370.0240	1370B McNally Dr, Winona	\$140,650.00	\$119,800.00	Horman	Rohrer	639201	1356359
32.245.0170	502 Grand St, Winona	\$140,000.00	\$130,400.00	Loos	Alexander	639209	1356362
32.329.1110	1001 Gilmore Valley Rd, Winona	\$191,000.00	\$155,400.00	Job	Tomashek	639220	1356377
32.485.0370	427 E Mark St, Winona	\$155,000.00	\$149,800.00	Junker	Alexander Real Estate, LLC	639241	1352322
24.063.0090	12654 Sherry Dr, Winona	\$320,000.00	\$264,700.00	Boundy	Murray	639234	1356825
32.245.0340	426 W Bellevue St, Winona	\$160,000.00	\$125,600.00	Bateman	Riska	639256	1357189
32.155.1100	1008 E 7th St, Winona	\$203,800.00	\$182,500.00	Chouanard	Greenwood	10994	1355933
32.360.0470	1064 W 11th St, Winona	\$157,000.00	\$140,400.00	Ramzyk	Steiner	639273	1357077
29.078.0190	516 Brook Ave, St. Charles	\$236,500.00	\$183,800.00	Jaszewski	David	639287	1357529
29.010.0070	1275 Church Ave, St. Charles	\$180,000.00	\$150,400.00	Choate	Hanenberger	639319	1357472
15.000.0940	20475 Whistle Pass Dr, Lewiston	\$309,000.00	\$205,900.00	Riska	McMartin	639298	1357796
32.417.0050	1421 Ridgewood Dr, Winona	\$385,000.00	\$342,700.00	Lingerfelt	Grund	639378	1358982
31.005.0120	220 Main St W, Utica	\$115,000.00	\$111,800.00	Walch	Sauer	639356	1358357
25.090.0020	80 N Fremont St, Lewiston	\$105,000.00	\$112,500.00	Schossow	Jonsgaard	639328	1356329
10.000.1032	35374 County Rd 12, Houston	\$237,600.00	\$196,700.00	Blahnik	Stampka	639389	1359135
32.405.0110	204 Harvester Ave, Winona	\$152,000.00	\$113,000.00	Bender	Heyer	639392	1359187
32.527.0140	71 Shady Oak Ct, Winona	\$374,500.00	\$318,500.00	Geislinger	Steffes	639398	1359197
32.200.8160	873 E 11th St, Winona	\$200,000.00	\$103,200.00	Rose	Bruss	639400	1359211
29.025.0250	1200 Oakview Dr, St. Charles	\$121,000.00	\$130,400.00	Lepsch	Louprasong	639426	1357821
29.060.2350	612 Bluff Ave, St. Charles	\$112,000.00	\$87,500.00	Gawne	Mueller	639500	1343187
32.320.5540	1061 Gilmore Ave, Winona	\$215,000.00	\$160,700.00	Jensen	Lang	639540	1361958
32.330.0150	1306 Crocus Circle, Winona	\$225,000.00	\$160,100.00	Kaiser	Heim	639551	1362048
29.072.0330	326 Northern Valley Dr, St. Charles	\$335,000.00	\$306,800.00	Sholes	Neumann	639555	1362099
18.000.1241	23422 Garvin Heights Rd, Winona	\$340,000.00	\$269,300.00	Hauser	Pehler	639631	1360424
32.175.0080	1112 Glen Echo Rd, Winona	\$255,000.00	\$175,100.00	Bartelson	Karnick	639685	1359404
32.505.0810	1395 Brookview Dr, Winona	\$190,000.00	\$125,900.00	Bartels	Seebold	639784	1356924
32.175.0160	768 Glen Lane, Winona	\$226,000.00	\$199,500.00	Hanson	Bartelson	639799	1363541
12.015.0130	50 Marvel Dr, MN City	\$174,000.00	\$200,500.00	Enright	Kosidowski Estate	639812	1364170
32.000.9800	517 W 9th St, Winona	\$207,000.00	\$125,300.00	Gavin	Riverwise Properties, LLC	639794	1365794
32.350.1290	720 Harriet St, Winona	\$129,000.00	\$128,500.00	Winona Sheltering Network	Hogden Trust	639807	1366137
29.046.0180	902 15th St E, St. Charles	\$363,000.00	\$240,400.00	Mechels/Pantoja	Campbell	639849	1364526

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RESIDENTIAL RECORDED SALES - DECEMBER 2021							
PARCEL NUMBER	LOCATION	PURCHASE PRICE	EMV	BUYER	SELLER	DOCUMENT NO.	e-CRV NO.
32.000.6880	304 Grand St, Winona	\$200,000.00	\$196,100.00	Sullivan	Stange	639820	1366449
18.000.2080	24921 Co Rd 17, Winona	\$215,000.00	\$244,400.00	Spaid	Knopick	639825	1366558
21.055.0070	21 1st St SE, Altura	\$185,000.00	\$114,100.00	Bruns	Johnson	639855	1366833
32.250.0210	663 Wilson St, Winona	\$172,500.00	\$151,900.00	Dick	Himlie	639861	1366973
24.055.0240	4250 W 7th St, Goodview	\$105,000.00	\$94,500.00	Buswell	Wicka	639872	1367218
12.015.3281	15685 Co Rd 25, Rollingstone	\$515,000.00	\$402,100.00	Sveen	Schell	639874	1367247
32.400.0800	307 E 7th St, Winona	\$160,000.00	\$145,600.00	Patzner	Alexander	639900	1367352
32.320.2850	918 King St, Winona	\$160,000.00	\$132,500.00	Boland	Maffei	639902	1367390
24.125.0540	3745 5th St, Goodview	\$155,000.00	\$128,000.00	Friese	Squires	639907	1367438

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WINONA COUNTY COMMERCIAL SALES COMPARISON

2021		2020	
Total Commercial Sales Purchase Price:	\$ 68,003,093.00	Total Commercial Sales Purchase Price:	\$ 30,042,685.00
Total Number of Commercial Sales:	114	Total Number of Commercial Sales:	67
High Sale - CAPP Industries, Inc. to Peerless Chain Company	\$14,000,000.00	High Sale - Pope to WinCraft, Incorporated	\$ 6,739,357.00

2021 COMMERCIAL SALES

PARCEL NUMBER	LOCATION	PURCHASE PRICE	EMV	BUYER	SELLER	DOCUMENT NUMBER	TYPE	e-CRV
32.401.0072	60 Riverview Dr, Winona (former Americinn Hotel)	\$150,000.00	\$474,000.00	Windward Corporation	State of Minnesota	10839	Unimproved/Vacant Land/Commerical (Bridge Property - Buy Back)	1183127
32.000.5330	267 W 3rd St, Winona (former Walz Dealership)	\$355,000.00	\$419,300.00	JWN Properties, LLC	State of Minnesota	630404	Unimproved/Vacant Land/Commerical (Bridge Property - Buy Back)	1194569
32.320.3740	535 Junction St, Winona (former Knight Barry Title)	\$217,000.00	\$247,700.00	Kelly Bros Property, LLC	Eagle Building, LLC	630436	Office/General Office	1203554
29.010.0300	1318 St. Charles Ave, St. Charles	\$150,000.00		Pearson Builders, Inc.	Millard	630457	Other/Special Use/Parking surface	1203649
32.320.6680	1066 Homer Rd, Winona	\$1,150,000.00	\$439,800.00	ZRH, LLC (Kwik Trip)	Lad Motel, Inc	630508	Other/Special Use/Unspecified (gas station/car wash)	1205095
32.000.2060	154 Lafayette St, Winona	\$250,000.00	\$271,400.00	Jeff's Mainstream, LLC (buyer was tenant)	Rieple	630533	Retail/General	1205291
32.000.5330	267 W 3rd St, Winona (former Walz Dealership)	\$390,500.00	\$419,300.00	Fastenal Company Purchasing	JWN Properties, LLC	630616	Unimproved/Vacant Land/Rural/vacant (Bridge Property - Buy Back)	1205910
32.403.0010	Winona	\$5,462.00		Fastenal Company Purchasing	Port Authority of Winona	630615	Unimproved/Vacant Land/Rural/vacant (Bridge Property - Buy Back)	1205919
32.000.8270	103 W 7th St, Winona	\$808,000.00	\$626,900.00	M & R Apartments, LLC	Edstrom	630633	Residential/Apartment (4+ units)	1205112
32.000.2650	153 & 155 W 4th St, Winona	\$265,000.00	\$256,500.00	River Vista Properties, LLC	Brown/Thach	630743	Residential/Apartment (4+ units)	1206748
32.000.2670								
31.003.0020	318 & 324 Railroad St, Utica	\$48,000.00	\$48,000.00	Chadborn	Ellsworth	630776	Residential/Apartment (4+ units)	1208403
31.003.0030								
32.055.0080	1552 W Broadway, Winona	\$440,000.00	\$235,600.00	POP Investments, LLC	CTS Properties, LLP	630823	Other/Special Use/Unspecified	1208631
32.000.2240	164 E 4th St, Winona	\$335,000.00	\$266,400.00	Dela Properties, LLC	HPA Properties, LLC	631038	Office/General Office	1211675
32.070.1420	682 & 686 W 4th St, Winona	\$225,000.00	\$156,800.00	RoJo Properties, LLC	Pilger Rentals, LLC	631084	Residential/Rental/Investment (1 unit)	1211123
32.000.5420	207 Winona St, Winona	\$950,000.00	\$1,384,300.00	Fastenal Company Purchasing	Winona Family YMCA, Inc	631342	YMCA to Vacant Land/Commerical	1215455
32.360.0750	1150 Gilmore Ave, Winona	\$107,000.00	\$101,500.00	Karsten	Messenger	631369	Office/General Office	1215519
24.000.0040	4110 5th St, Winona	\$425,000.00	\$289,900.00	Sanborn Canoe Co, LLC	Knitcraft Corporation	631470	Manufacturing/General Light	1216771
32.130.0010	198 E 8th St, Winona	\$168,000.00	\$130,600.00	Johnson	Sunrise-Sunset Rentals, LLC	631541	Residential/Rental/Investment (1 unit)	1217670
32.137.0020	1050 Frontenac Dr, Winona	\$625,000.00	\$642,500.00	Fruechte	Polar Car Wash, LLC	631760	Other/Special Use (prior car wash)	1221054
32.080.0370	1558 W Service Dr, Winona (KFC Franchisees)	\$950,000.00	\$894,000.00	Hat Trick Enterprises, LLC Gazelem Properties, LLC	Delaware 1558, LLC	631747	Restaurants/Bars/Clubs/Fast Food	1219788
32.320.0800	405 Cottonwood Dr, Winona (Former Shopko)	\$2,250,000.00	\$3,877,900.00	Amerco Real Estate Company	CFCRE 2016-C7 Shopko Winona, LLC	631837	Retail/General	1220832
26.005.0080	206 Bennett Ave, Altura	\$210,000.00	\$207,500.00	Bennerotte	Benlike	631960	Restaurants/Bars/Clubs/Bar/tavern	1223840
32.200.1270	578 E 4th St, Winona	\$292,000.00	\$278,200.00	Blue Door Management, LLC	O'Brien	632119	Residential/Rental/Investment (1 unit)	1225804
32.320.7290	1161 Sugar Loaf Rd, Winona	\$270,000.00	\$264,800.00	Elzo Properties, LLC	Moore	632296	Residential/Rental/Investment (1 unit)	1228385
36.000.6560	County Rd 7, Winona	\$35,000.00	N/A (split)	Pickwick Fire & Rescue	Suffrins	632617	Rural/vacant land to Fire Station	1231504
25.059.0210	505 E Main St, Lewiston	\$1,900,000.00	\$982,000.00	Crocus Crest Senior Living, LLC	LSL RE, LLC	632640	Residential/Assisted living	1233184
32.000.2770	170 W 5th St, Winona	\$110,000.00	\$114,500.00	Andre	Losinski	632680	Residential/Rental/Investment (1 unit)	1230335
28.000.0640	140 Main St, Rollingstone	\$295,000.00	\$386,300.00	Oakwood Bank	Bremer Bank, NA	632757	Office/Bank	1234071
24.041.0030	7080 Highway 61 West, MN City	\$700,000.00	\$602,700.00	KBS Property Management, LLC	Ellefson Holdings, LLC	632839	Residential/Apartment (4+ units)	1231974
32.000.6770	379 W 6th St, Winona	\$135,900.00	\$145,800.00	Johnson	Evans	632859	Residential/Rental/Investment (1 unit)	1235615
32.310.0210	662 Johnson St, Winona	\$153,000.00	\$149,000.00	Goede	Alexander	632906	Residential/Rental/Investment (1 unit)	1236180
24.045.0110	635 45th Ave, Winona	\$247,500.00	\$216,300.00	Lecy	Benter	632949	Residential/Apartment (4+ units)	1236431
32.080.0370	1558 West Service Dr, Winona	\$1,535,000.00	\$908,400.00	Ruan/Hu Family Trust	Hat Trick Enterprises, LLC	633360	Restaurants/Bars/Clubs/Fast Food	1240629
24.065.0030	10000 71st Ave, MN City	\$390,000.00	\$375,900.00	W D Larson Companies LTD, Inc	Mikrut Properties, LLLP	633465	Other/Special Use/Unspecified (Trucking Dealership)	1241517
32.090.0260	1078 W Wabasha St, Winona	\$199,000.00	\$136,800.00	Vercruysse Ventures, LLC	Parrish	633472	Residential/Rental/Investment (1 unit)	1243697
32.000.2640	151 W 4th St, Winona	\$180,000.00	\$186,000.00	Kanz	Losinski	633492	Office/General Office	1243928
32.000.6480	264 W 6th St, Winona	\$210,101.00	\$189,500.00	Rasmussen	Kugel	633566	Residential/Rental/Investment (1 unit)	1246072
32.000.1630	77 W 3rd St, Winona	\$610,000.00	\$395,900.00	Circa Properties, LLC	Friendly Frogs, LLC	633602	Office/General Office	1246266
35.060.0420	280 E Main St, Lewiston	\$150,000.00	\$80,700.00	Son's Property, LLC	Brion	633639	Warehouse/Office	1245650
35.055.0240								
32.455.0710	60 E 10th St, Winona	\$120,000.00	\$85,500.00	Loos	Alexander	633728	Residential/Student housing/Apartment	1244012
34.011.0021	5229 6th St, Goodview	\$140,000.00	\$143,000.00	Loos Bros, LLC	Just Store It, LLC	633725	Other/Special Use/Unspecified	1244899
32.400.1610	251 E 9th St, Winona	\$170,000.00	\$147,600.00	Johnson	Sunrise-Sunset Rentals, LLC	633758	Residential/Rental/Investment (1 unit)	1247280

2021 COMMERCIAL SALES

PARCEL NUMBER	LOCATION	PURCHASE PRICE	EMV	BUYER	SELLER	DOCUMENT NUMBER	TYPE	e-CRV
22.000.0020 22.000.0030	220 Golden Rule Rd, Dakota	300,000.00	\$235,300.00	Saginaw, LLC	Gross Ventures, LLC	633944	Other/Special Use/Unspecified	1250172
32.455.0830	64 W 10th St, Winona	\$162,000.00	\$159,700.00	Loos	Baker	634049	Residential/Student housing/Apartment	1254050
32.307.0050 32.307.0060	1845 Mobile Dr, Winona 1840 Ronco Ave, Winona	\$799,500.00	\$1,013,800.00	Nesnah Group Real Estate III, LLC	Seven Rivers MC Property, LLC	634155	Office/General Office (Former Harley Davidson Dealership)	1256345
32.000.1270	165 W 2nd St, Winona	\$580,000.00	\$1,124,400.00	Port Authority of Winona	Pro-Build Real Estate Holdings, LLC	634318	Office/General Office	1255961
32.000.2480	64 E 5th St, Winona	\$1,300,000.00	\$1,237,200.00	Loos	Bluff City Properties 4, LLC	634281	Residential/Student housing/Apartment	1258820
29.015.0160	1121 Whitewater Ave, St. Charles	\$195,000.00	\$138,500.00	Wiskow	Johnson/Myers	634371	Retail/General	1260681
32.000.5590	377 -379 W 4th St, Winona	\$410,000.00	\$255,100.00	Hoesley Brothers Properties, LLC	WinonaPlace Rental, LLC	634463	Residential/Rental/Investment (1 unit)	1262690
32.000.5190	376 W 4th St, Winona	\$190,000.00	\$154,300.00	Hoesley Brothers Properties, LLC	WinonaPlace Rental, LLC	634465	Residential/Rental/Investment (1 unit)	1262728
32.100.0440	501 E 9th St, Winona	\$93,000.00	\$126,700.00	RJ Creative Dwellings, LLC	Czaplewski	634468	Residential/Rental/Investment (1 unit)	1262758
32.460.0020 32.001.0440 32.300.2550	151 8th St, Winona 2215 Franklin St, Winona 318 Laird St, Winona	\$450,000.00	\$389,000.00	Johnson	Casper	634538	Residential/Rental/Investment (1 unit)	1258686
32.480.0130	111 E 8th St, Winona	\$154,000.00	\$165,700.00	Hemker	Klagge	634539	Residential/Rental/Investment (1 unit)	1263709
32.340.0220	271 W Mill, Winona	\$145,000.00	\$91,800.00	Timm	Sunrise-Sunset Rentals, LLC	634543	Residential/Rental/Investment (1 unit)	1264140
32.040.0093	808 W 9th St, Winona	\$600,000.00	\$553,200.00	Blakeman Investments, LLC	WinonaPlace Rental, LLC	634553	Residential/Rental/Investment (1 unit)	1264259
32.240.2870	412 Mankato Ave, Winona	\$108,000.00	\$89,600.00	Sassan	Culp Estate	634556	Residential/Rental/Investment (1 unit)	1264281
32.235.0070	186 E 10th St, Winona	\$165,000.00	\$134,000.00	Li/Bai	Rackow	634564	Residential/Rental/Investment (1 unit)	1264379
32.266.0010 32.266.0020 32.266.0030 32.266.0040	816, 820, 824, W 9th St, Winona	\$550,000.00	\$531,200.00	Blakeman	WinonaPlace Rental, LLC	634554	Residential/Rental/Investment (1 unit)	1264270
32.000.0320	65 E Front St, Winona	\$530,000.00	\$355,600.00	65 Front Street, LLC	Aerie Enterprises, LLC	634614	Other/Special Use/Unspecified	1264993
32.115.0160	617 Hamilton St, Winona	\$85,000.00	\$105,600.00	Lillestrand	Radel	634743	Residential/Rental/Investment (1 unit)	1268937
31.000.1310	31313 Veterans Rd, Dresbach	\$349,000.00	\$360,900.00	Poplar Street Holdings, LLC	Pretasky Enterprises, LLC	634873	Retail/Vehicle related/Service repair shop	1272368
32.000.0321	58 Center St, Winona	\$750,000.00	\$450,800.00	54 Center Street, LLC	Levee Enterprises, LLP	635008	Other/Special Use/Unspecified	1271035
35.015.0080	400 Debra Dr, Lewiston	\$220,000.00	\$228,500.00	TMB Investments, LLC	Kabey Enterprises, LLLP	635056	Retail/General Retail	1272719
32.000.0100	65 Johnson St, Winona	\$139,000.00	\$115,700.00	JGA, LLC	Jacobson	635248	Office/General Office	1279812
32.000.1420	107 W 3rd St, Winona	\$200,000.00	\$123,400.00	Cordova	Evans	635269	Restaurants/bars/clubs/tavern	1277760
32.320.3630	1461 W 5th St, Winona	\$262,500.00	\$282,900.00	Pringle	Garvin Brook Properties, LLLP	635827	Other/Special Use/Unspecified	1293413
32.200.3710 32.200.3640	720 E 2nd & 721 E Front, Winona	\$550,000.00	\$525,800.00	Riverside East Apartments, LLC	Garvin Brook Properties, LLLP	635849	Residential/Apartment (4+ units)	1294065
30.015.0490	912 Whitewater Ave, St. Charles	\$95,000.00	\$135,800.00	Bloo, LLC	St. Charles Main Street Apartments, LLC	635891	Retail/General Retail	1295040
2.000.5370	266 W 4th St, Winona	\$30,000.00	\$37,800.00	Fastenal Company Purchasing	Port Authority of Winona	636027	Other/Special Use/Parking surface (Part of Bridge Buy Back - former Walz)	1296646
2.001.0710	265 E 4th St, Winona	\$235,000.00	\$250,200.00	JV Properties, LLC	Ligeza	636188	Residential/Rental/Investment (1 unit)	1300257
9.026.0030	2133 Enterprise Dr, St. Charles	\$752,000.00	\$911,500.00	Diamond Land Holdings, LLC	REDUS One, LLC	636279	Manufacturing/General Light	1301970
9.060.1890	331 W 6th St, St. Charles	\$330,000.00	\$156,300.00	Diaz	Cavin Hills Properties	636358	Restaurants/Bars/Clubs/Coffee Shop	1303699
2.400.1590	263 E King St, Winona	\$200,000.00	\$175,900.00	Hoffmann	Sunrise-Sunset Rentals, LLC	636639	Residential/Apartment (4+ units)	1304921
2.000.2000	121 E 3rd St, Winona	\$140,000.00	\$95,600.00	CMB2ND Property, LLC	Alexander Real Estate, LLC	636855	Residential/Rental/Investment (1 unit)	1314371
2.320.1520	1635 5th St W, Winona	\$600,000.00	\$243,700.00	O Family, Inc	Lemmer	637176	Warehouse/General warehouse	1316542
2.000.1780	63 E 3rd St, Winona	\$190,000.00	\$148,500.00	Peterson	Credium Rock Holdings, LLC	637140	Retail/General Retail	1320500
2.478.0020	1714 Wilkie Dr, Winona	\$200,000.00	\$108,900.00	Woodworth Family, LLC	Black Squirrel Properties, LLC	637255	Unimproved/Vacant Land/Industrial	1322549
2.320.2240	91 Harvester Ave, Winona	\$385,000.00	\$213,000.00	One Swing, LLC	Malcolm	637332	Warehouse/General warehouse	1324860
9.060.1880	313 W 6th St, St. Charles	\$170,000.00	\$174,800.00	MAVM Holdings, LLC	Ryan	637361	Office/General Office	1324876
2.000.3740	126 W 7th St, Winona	\$675,000.00	\$541,700.00	Wedul	Edstrom	637358	Residential/Apartment (4+ units)	1325461
4.041.0031 4.041.0034	1325 11th Ave, Winona	\$300,000.00	\$127,200.00	KBS Property Management, LLC	Ellefson Holdings, LLC	637370	Other/Special Use/Unspecified	1325166
2.160.0720	850 W 5th St, Winona	\$127,500.00	\$231,900.00	River Land Investments, LLC	Hemker	637482	Residential/Rental/Investment (1 unit)	1327852
2.110.0340	429 E 9th St, Winona	\$105,000.00	\$111,600.00	Connolly	Baxter	637509	Residential/Rental/Investment (1 unit)	1328297
3.025.0090 3.025.0100	1201 & 1233 Oakview Dr, St. Charles	\$540,000.00	\$451,800.00	Oakview Rentals, LLC	Eleutheria, LLC	637551	Residential/Apartment (4+ units)	1328986
2.000.2970	270 Center St, Winona	\$1,200,000.00	\$937,400.00	Parkview Property, LLC	Bluff City Properties 1, LLC	637674	Residential/Apartment (4+ units)	1330201
2.001.0720	267 E 4th St, Winona	\$196,000.00	\$181,300.00	Elzo Properties, LLC	Sunrise-Sunset Rentals, LLC	637917	Residential/Rental/Investment (1 unit)	1333871

2021 COMMERCIAL SALES

PARCEL NUMBER	LOCATION	PURCHASE PRICE	EMV	BUYER	SELLER	DOCUMENT NUMBER	TYPE	e-CRV
32.000.2450	51 East 4th St, Winona	\$1,300,000.00	\$1,135,800.00	Winona Real Estate GP, LLC	Hoffmann	638098	Residential/Apartment (4+ units) Planned Use: Lodging/Hotels/Motels	1332322
32.000.2720	179 W 4th St, Winona	\$261,900.00	\$189,000.00	River Island Properties, LLC	Bluff City Properties 6, LLC	638058	Residential/Rental/Investment (1 unit)	1337159
29.015.0060	925 Whitewater Ave, St. Charles	\$100,000.00	\$163,100.00	KDO Enterprises, LLC	Phar Properties of SE MN, LLC	638144	Entertainment/Sports/Health/Fitness Club	1338325
31.000.0003	16231 County Rd 18, Utica	\$550,000.00	\$400,700.00	Driftless Properties, LLC	Driftless Holdings, LLC	638169	Manufacturing/Agribusiness related	1339273
29.015.0460	956 Whitewater Ave, St. Charles	\$149,000.00	\$93,000.00	Natural Nutrition, LLC	Zanto	638385	Retail/General Retail	1342589
32.070.0090	321 McBride St, Winona	\$90,000.00	\$77,800.00	Washburn	Ritter	638453	Residential/Rental/Investment (1 unit)	1343700
06.000.5810 06.000.5880	36123/36135 Old Cartway Dr, Winona	\$210,000.00	\$192,400.00	TC Realestate Holdings, LLC	Belser	639082	Residential/Rental/Investment (1 unit)	1353822
32.137.0010 32.137.0030 32.137.0021	1061 Shive Rd, Winona 1062 Frontenac Dr, Winona	\$650,000.00	\$663,100.00	J S Miller	Durnen	639102	Other/Special Use/Unspecified	1353935
32.000.6600	264 W 7th St, Winona	\$575,000.00	\$474,600.00	Goergen	Bluff City Properties 2, LLC	639106	Residential/Apartment (4+ units)	1354766
32.090.0991	1052 W 6th St, Winona (former Bridal Boutique)	\$225,000.00	\$199,500.00	Larson	Olan	639382	Other/Special Use/Unspecified	1358341
32.000.3100	21577 Geib Road, St. Charles	\$249,900.00	N/A (split)	Boynton	Geib	639405	Warehouse/General warehouse	1359091
32.320.5480	1201 Gilmore Ave, Winona (Part of Winona Mall)	\$1,850,000.00	N/A (split)	Aerie Enterorise, LLC	Winona Mall, LLC	639483	Retail/Regional mall	1358959
32.424.0020	1441 West Service Dr, Winona (Culver's)	\$3,300,000.00	\$795,900.00	Winona Custard, LLC	MMC of Winona, LLC	639447	Restaurants/Bars/Clubs/Fast Food	1359879
32.455.1180	58 W Mark St, Winona	\$85,000.00	\$126,800.00	Loos Bros, LLC	KJB MPP, LLC	639492	Residential/Student housing/Apartment	1361191
32.455.1220	528 Main St, Winona	\$133,000.00	\$161,800.00	Loos	Bluff City Properties 7, LLC	639489	Residential/Student housing/Apartment	1361200
32.511.0020 32.511.0010	940 Frontenac Dr, Winona	\$5,474,000.00	\$2,974,500.00	St. Andrews Holding Company, LLC	VEH Frontenac, LLC	639548	Retail/Neighborhood shopping center	1360849
32.505.0080 32.505.0130	517 Mark St, Winona	\$62,000.00	\$54,400.00	Hettenbach	Ng/Shariff	639531	Residential/Student housing/Apartment	1361793
32.000.0910	412 E 12th St, St. Charles	\$575,000.00	\$393,000.00	Hegerd, LLC	Dabelstein	639553	Residential/Apartment (4+ units)	1362097
33.000.0740	29478 Co Rd 28, Utica	\$325,000.00	\$194,600.00	Wegg	Nahrgang/Johnson	639615	Other/Special Use/Unspecified	1363200
32.320.4120 32.320.4152	1416 E 8th St, Winona	\$14,000,000.00	\$5,104,100.00	Peerless Chain Company	Capp Industries, Inc.	639663	Manufacturing/General heavy	1361512
32.423.0050	1015 Frontenac Dr, Winona Land Only	\$566,370.00	\$499,200.00	TWAS Properties, LLC	Menard, Inc.	639733	Other/Special Use/Unspecified	1365159
32.350.0890	601 Huff St, Winona (former Manpower Building)	\$335,000.00	\$300,300.00	Beect, LLC	Leaf	639786	Office/General Office	1364620
2.540.0110	261 Orrin St, Winona	\$330,000.00	\$371,700.00	Dencker	Bluff City Properties 6, LLC	639894	Residential/Apartment (4+ units)	1364325
2.540.0090	263 Orrin St, Winona	\$330,000.00	\$371,700.00	Dencker	Bluff City Properties 4, LLC	639893	Residential/Apartment (4+ units)	1364338
3.000.1430	11906 Highway 14, St. Charles (John Deere Implement)	\$1,820,000.00	\$654,700.00	Ag Power Real Estate, LLC	MNMW, LP	639859	Other/Special Use/Unspecified	1366997
2.455.0610	452 Center St, Winona	\$192,780.00	\$200,200.00	Rasmussen	Bluff City Properties 4, LLC	639885	Residential/Rental/Investment (1 unit)	1367273
2.455.1170	520 Main St, Winona	\$366,180.00	\$259,900.00	Rasmussen	Bluff City Properties 9, LLC	639887	Residential/Rental/Investment (1 unit)	1367289
2.455.1340	524 Center St, Winona	\$124,000.00	\$126,400.00	Loos	Bluff City Properties 3, LLC	639905	Residential/Rental/Investment (1 unit)	1367417

2021 Land Sales

Tillable (15)

\$6,000	\$5,000
\$7,860	\$5,987
\$7,728	\$9,313
\$7,552	\$10,484
\$5,500	\$5,261
\$5,280	\$5,333
\$10,500	\$12,763
	\$9,000

Range: \$5,000 to \$12,763

Average: \$7,571

Timber (11)

\$3,000	\$8,556
\$3,930	\$3,470
\$3,366	\$3,636
\$4,207	\$6,527
\$3,960	\$6,425
	\$4,300

Range: \$3,000 to \$8,556

Average: \$4,670

Sold by Public Promotion	45
Sold by Word of Mouth	15
Neighbor or Renter	9
Other	4

Rural Land Sales 2021										
Date	Parcel	Type of Land	Total Acres	Price	Price/Acre	Section & Township	Document	e-CRV Number	Public Promotion	Names
1/6/2021	14.000.0282	Land Only 39 tillable acres	40	\$240,000.00	\$6,000.00	04-105-10 Saratoga	630476	1204198	For Sale by Owner	Vermilya to McIntire
1/11/2021	03.000.1322	Land Only 150 tillable acres	152.68	\$1,200,000.00	\$7,860.00	18-105-09 Fremont	630549	1205639	Yes	Hackbarth Estate to Five Season Farms, LLC
1/15/2021	04.000.1280 04.000.1441 04.000.1445	Land & Buildings Timber & Pasture	59.75	\$390,000.00		22-105-08 Hart 23-105-08 Hart	630693	1165774	Yes	Scheck to Offerdahl
1/19/2021	15.000.1570	Land only 113 tillable acres	118	\$912,000.00	\$7,728.00	21-106-09 Utica	630728	1207987	Leased prior to Purchase	Mueller to Theede
1/21/2021	20.000.0470	Land & Buildings 15 tillable acres	30	\$630,000.00		05-105-07 Wiscoy	630837	1208971	Yes	Johnson/Denzer to Sharp
2/1/2021	29.000.1790	Land Only 50 tillable acres	138	\$630,000.00	\$4,565.00	30-106-10 St Charles City	631062	1212322	Yes	Small to Kaehler
2/4/2021	10.000.0780	Land Only - Timber	8.61	\$39,000.00	\$4,529.00	07-105-06 Pleasant Hill	631148	1213115	Yes	Schaalma to Simeri
2/10/2021	29.000.1160 29.000.1231 13.000.1480	Land Only 40 tillable acres Intended Use: Education K-12	92.3	\$930,000.00	\$10,075.00	20-106-10 St. Charles City 20-106-10 St. Charles	631279	1214864	Seller approached Buyer	Hewitt (et al) to Independent School Dist. 858
2/17/2021	06.000.4120 06.000.4140	Land & Buildings approximately 35 tillable acres	157.76	\$650,000.00		29-106-06 Homer	631444	1216316	Yes	Cummings Estate to Miller
2/23/2021	02.000.3350 02.000.3510	Land Only - Woods	50.87	\$152,610.00	\$3,000.00	35-107-10 Elba 36-107-10 Elba	631565	1216925	Yes	Myers to Pedretti
3/8/2021	08.000.1041 08.000.1032 11.000.2010	Land Only - Woods	59.8	\$235,000.00	\$3,930.00	06.105-05 New Hartford 31-106-05 Richmond	631915	1223308	Yes	Yoder to Worthington
3/10/2021	13.000.1132	Land Only Woods & 23 tillable acres	39.55	\$125,000.00	\$3,160.00	15-106-10 St. Charles	631981	1224099	Yes	Kaehler to Thompson
3/15/2021	14.000.1560	Land & Buildings 217 tillable acres	240	\$1,812,500.00		24-105-10 Saratoga	632092	1224363	word of mouth	Hershey Trust to Buckbee
3/16/2021	14.000.1560 (split)	Land Only	74.06	\$559,301.12	\$7,552.00	24-105-10 Saratoga	632136	1224187	word of mouth	Buckbee to Horihan
3/22/2021	05.000.0151 05.000.0241 12.015.2141	Land Only 42.07 tillable acres	45.1	\$248,050.00	\$5,500.00	16-107-08 Rollingstone 21-107-08 Hillsdale 22-107-08 Hillsdale	632262	1222111	Yes	Stueve to Hengel Trust
3/25/2021	12.015.3370 12.015.3460	Land Only 9 tillable acres	205.6	\$792,850.00	\$3,856.00	33-108-08 Rollingstone 34-108-08 Rollingstone	632401	1229275	Yes	Lothenbach Properties V, LLC to Paradise Valley Acres, LLC
3/31/2021	04.000.0441	Land & Buildings 7 tillable acres	10	\$350,000.00		08-105-08 Hart	632575	1231688	Yes	Nelson to Clear Crest Farm, LLC
3/31/2021	14.000.0442	Land Only Pasture, Woods, & Tillable	110	\$465,000.00	\$4,227.00	06-105-10 Saratoga	632559 632560	1231046 1231062	Yes	Raak to Vollmer/O'Shaughnessy
4/2/2021	12.015.2710	Land Only woods & pasture limited access	40	\$73,320.00	\$1,833.00	20-108-08 Rollingstone	632620	1232410	No	Eire Gleann Farm, LLP to Tibor

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Rural Land Sales 2021

Date	Parcel	Type of Land	Total Acres	Price	Price/Acre	Section & Township	Document	e-CRV Number	Public Promotion	Names
4/5/2021	14.000.1401	Land & Buildings 2 tillable acres	6.34	\$471,000.00		20-105-10 Saratoga	632661	1233376	Yes	Persons to Rislow
4/6/2021	02.000.3362	Land Only	10	\$155,000.00	\$15,500.00	35-107-10 Elba	632695	1232485	word of mouth	Heim Trust to Ihrke
4/6/2021	12.015.2803 12.015.2802 12.015.2646 12.015.2647	Land Only 115.23 +/- tillable acres	119.23	\$629,585.00	\$5,280.00	19-108-08 Rollingstone 20-108-08 Rollingstone	632699	1230028	Yes	Frey to Rustic Riverland Ridge, LLC
4/13/2021	09.000.2500	Land Only 115 tillable acres	118	\$1,239,000.00	\$10,500.00	29-107-09 Norton	632957	1236609	Yes	Beyer Trust to Burns
4/14/2021	02.000.0722	Land Only Woods & Tillable	36.54	\$249,000.00	\$6,814.00	08-107-10 Elba	632968	1236719	Yes	Simon to Thronsdon
4/16/2021	15.000.2700	Land & Buildings 148 tillable acres	159	\$2,350,000.00		34-106-09 Utica	633072	1234835	No	T&E Farms, LLP to Thompson Family Holdings
4/19/2021	12.015.2803 12.015.2647	Land Only Woods & non-productive	110.62	\$325,000.00	\$2,938.00	19-108-08 Rollingstone 20-108-08 Rollingstone	633097	1237893	Yes	Frey to Moder Trust
4/21/2021	10.000.3160	Land & Buildings	22	\$144,000.00		35-105-06 Pleasant Hill 36-105-06 Pleasant Hill	633188	1229945	Yes	Bartsch to Belter
4/21/2021	10.000.3160 10.000.3320	Land Only 14 tillable acres	25	\$106,000.00	\$4,240.00	35-105-06 Pleasant Hill 36-105-06 Pleasant Hill	633191	1230003	Yes	Bartsch to Erdmann
4/26/2021	08.000.3310	Land & Buildings 45 tillable acres	208.5	\$475,000.00		27-105-05 New Hartford	633342	1234456	word of mouth	Lemke to Moldenhauer
5/4/2021	13.000.2400 13.000.2730	Land & Buildings 99.50 tillable acres	113	\$750,000.00		29-106-10 St. Charles 32-106-10 St. Charles	633606	1246434	word of mouth	Richter to Dabelstein
5/10/2021	03.000.2280	Land & Buildings	36.54	\$112,500.00		32-105-09 Fremont	633779	1248499	Yes	Paulson Estate to Bartsh
5/14/2021	31.000.0050	Land Only - split Intended for Solar Farm	0.53	\$7,950.00		18-106-09 Utica	633894	1249930	No	Ellsworth to P. Kreidermacher
5/14/2021	31.000.0050	Land Only - split Intended for Solar Farm	0.67	\$10,050.00		18-106-09 Utica	633895	1249940	No	Ellsworth to R. Kreidermacher
5/19/2021	06.000.3621	Land Only	21.7	\$211,000.00	\$9,723.00	23-106-06 Homer	634004	1245855	Yes	Benike to Pope
5/20/2021	10.000.0790 20.000.0920	Land Only Woods & Hillside	67.54	\$227,390.00	\$3,366.00	07-105-06 Pleasant Hill 12-105-07 Wiscov	634028	1253105	Yes	Christopherson to Sturgis
5/28/2021	08.000.2370 08.000.1210	Land Only 67.95 tillable acres	68.95	\$344,750.00	\$5,000.00	17-105-05 New Hartford	634250	1248662	Yes	Abnet to Wakeman
5/28/2021	08.000.2370 08.000.1210	Land Only 25 tillable acres	28.73	\$172,000.00	\$5,987.00	08-105-05 New Hartford 17-105-05 New Hartford	634250	1266104	Yes	Abnet to Myers
6/9/2021	17.000.0560	Land Only Woods	23.77	\$100,000.00	\$4,207.00	06-108-10 Whitewater	634562	1264240	Yes	Hengel to See
6/17/2021	08.000.3390 08.000.3430	Land Only	33.23	\$163,000.00	\$4,905.00	28-105-05 New Hartford	634703	1259521	Yes	Hoch to Hood
6/30/2021	18.000.4223	Land Only 45.62 tillable acres	47.32	\$450,000.00	\$9,313.00	29-106-07 Wilson	635059	1275093	Yes	Winona Investments, LLC to Malay & Stoltz
9/3/2021	13.000.3300	Land & Buildings	35.8	\$500,000.00		36-106-10 St. Charles	636669	1311964	For Sale by Owner	Bornreger to Yoder

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Rural Land Sales 2021

Date	Parcel	Type of Land	Total Acres	Price	Price/Acre	Section & Township	Document	e-CRV Number	Public Promotion	Names
9/7/2021	04.000.0701	Land Only 62 tillable acres	62	\$650,000.00	\$10,484.00	12-105-08 Hart	636724	1312210	Purchased by renter	Jameson to Meyer Bros.
9/8/2021	13.000.1720 13.000.1710	Land & Buildings 80 tillable acres	84	\$547,000.00		22-106-10 St. Charles	636752 636753	1310609 1310624	word of mouth	Benedett-Farmer Trust to Soppa Trust
9/16/2021	14.000.2630	Land & Buildings 68 tillable acres	120	\$650,000.00		36-105-10 Saratoga	636964	1317204	Yes	Boyum Trust to Prigge
9/28/2021	13.000.3142 13.000.3170	Land & Buildings	62.46	\$310,000.00		35-106-10 St. Charles	637215	1298999	Buyer approached Seller	Lundeen to Schwartz
9/30/2021	11.000.2130	Land & Buildings 9 tillable acres	73.35	\$295,335.00		33-106-05 Richmond	637304	1308501	Yes	Feller to Yoder
9/30/2021	08.000.2621	Land Only 40 tillable acres	43.24	\$227,500.00	\$5,261.00	18-105-05 New Hartford 19-105-05 New Hartford 20-105-05 New Hartford	637306	1323963	Yes	Hanson to Stanton
10/4/2021	06.000.4260	Land Only	11.03	\$175,000.00	\$15,866.00	30-106-06 Homer	637374	1321271	Yes	Edgewood Properties to Redig
10/4/2021	17.000.3450	Land & Buildings 101.05 tillable acres	240	\$1,200,000.00		36-108-10 Whitewater	637369	1326018	word of mouth	Monahan to Brosig Family Farms
10/7/2021	03.000.2430	Land & Buildings 3.5 tillable acres	10	\$300,000.00		34-105-09 Fremont	637506	1328195	Yes	Schade to Associated Veterans, LLC
10/11/2021	20.000.0990	Land Only 70 tillable acres	72.82	\$388,373.09	\$5,333.00	13-105-07 Wiscoy	637566	1328541	word of mouth	Stanton to Johnson
10/11/2021	20.000.0990	Land & Buildings	7.86	\$140,000.00		13-105-07 Wiscoy	637572	1261039	word of mouth	Stanton to Johnson
10/11/2021	20.000.0985	Land Only 4.72 tillable acres	4.72	\$23,600.00	\$5,000.00	13-105-07 Wiscoy 18-105-06 Pleasant Hill	637570	1261090	personal knowledge	Johnson to Stanton
10/12/2021	08.000.2430	Land & Buildings	3	\$234,780.00		17-105-05 New Hartford	637743	1267776	word of mouth	Stanton to Johnson
10/12/2021	08.000.2430 08.000.2471 08.000.2502	Land & Buildings	91	\$470,000.00		18-105-05 New Hartford 19-105-05 New Hartford	637742	1329738	Yes	Waterman to Stanton
11/2/2021	03.000.1400	Land & Buildings 92.60 tillable acres	174.2	\$1,044,000.00		19-105-09 Fremont 30-105-09 Fremont	638247	1340862	Yes	Hershey Family Trust to MSK Farms, LLC
11/2/2021	14.000.1400	Land Only 93.66 tillable acres	113.66	\$662,000.00	\$5,824.00	20-105-10 Saratoga	638252	1340744	previously rented	Fisch to Sackreiter
11/3/2021	10.000.2710	Land & Buildings 48 tillable acres	80	\$500,000.00		27-105-06 Pleasant Hill	638305	1340947	word of mouth	Leitzen to Woodard
11/9/2021	08.000.1280	Land Only Planned Use: Residential	20	\$200,000.00	\$10,000.00	09-105-05 New Hartford	638596	1343941	Yes	Ebert to Fedke
11/17/2021	09.000.1370	Land Only Mostly woods	50.73	\$200,897.00	\$3,960.00	15-107-09 Norton	638706	1346885	Purchased by neighbor	Clark Estate to Mueller
11/18/2021	13.000.1250	Land Only Crop Production 37 tillable acres	38	\$485,000.00	\$12,763.00	16-106-10 St. Charles	638769	1348747	word of mouth	Heim to Martinson Trust
11/22/2021	12.015.3310 12.015.3291	Land Only - Timber	14.61	\$125,000.00	\$8,556.00	31-108-08 Rollingstone	638847	1349883	word of mouth	LaValla to Chang
11/23/2021	20.000.0310	Land Only - Timber	40.49	\$140,500.00	\$3,470.00	03-105-07 Wiscoy	638876	1351006	word of mouth	PNP Cattle Company to Edgerton
11/24/2021	06.000.1760	Land Only Timber & Tillable	21.15	\$201,000.00	\$9,503.00	13-106-06 Homer	639143	1351448	Yes	Parpart/Wadewitz to Church

Rural Land Sales 2021

Date	Parcel	Type of Land	Total Acres	Price	Price/Acre	Section & Township	Document	e-CRV Number	Public Promotion	Names
11/30/2021	10.000.1030 10.000.1034 10.000.0590	Land & Buildings approximately 33 tillable acres	52.51	\$215,000.00		08-105-06 Pleasant Hill 05-105-06 Pleasant Hill	639016	1353169	Yes	Bateman to Beardsley
12/27/2021	14.000.0570	Land & Buildings (split) 28 tillable acres	33	\$574,250.00		08-105-10 Saratoga	639729	1365090	Yes	Campbell Estate to Miller
12/27/2021	14.000.0570	Land Only (split) 90 tillable acres	99.39	\$894,510.00	\$9,000.00	08-105-10 Saratoga	639734	1365134	Yes	Campbell Estate to Raber
12/8/2021	08.000.3733 11.0086.000* *HOUSTON	Land Only Recreation & Hunting	182	\$567,000.00	\$3,115.00	32-105-05 New Hartford 03-104-05 La Crescent* 04-104-05 La Crescent* *HOUSTON	639678	1357290 1357294* *HOUSTON	Yes	Johnson to JAG Rec Investments
12/29/2021	10.000.2530 10.000.2490	Land Only Timber	113.74	\$413,558.64	\$3,636.00	24-105-06 Pleasant Hill 25-105-06 Pleasant Hill	639779	1364709	Yes	Waldenberger to Big Country Properties
12/29/2021	10.000.2480	Land Only Timber	7.66	\$50,000.00	\$6,527.00	24-105-06 Pleasant Hill	639782	1364710	Yes	Krumrie to Big Country Properties
12/29/2021	14.000.0570	Land Only Woods & Pasture	42.2	\$181,460.00	\$4,300.00	08-105-10 Saratoga	639817	1366343	Yes	Campbell Estate to Yoder
12/30/2021	13.000.2351 29.094.0380 29.001.0112 13.000.2700 29.094.0370 29.001.0111 13.000.2361	Land Only 45 tillable acres	53.14	\$479,854.20	\$9,030.00	29-106-10 St. Charles City 32-106-10 St. Charles	639911	1367284	word of mouth	Rinn to Zanto
12/30/2021	02.000.0540 02.000.0470	Land Only Mostly woods +/- 3.4 tillable acres	35	\$224,900.00	\$6,425.00	07-107-10 Elba	639866	1366988	Yes	Simon to Moua

WINONA COUNTY VITAL RECORDS YEAR-END NUMBERS

RECORD TYPE	2018	2019	2020	2021
Marriages	246	210	191	296
Births	162	155	151	142
Deaths	363	365	394	341

2021 CITY OF ST. CHARLES RESIDENTIAL SALES

PARCEL NUMBER	LOCATION	PURCHASE PRICE	EMV	BUYER	SELLER	DOCUMENT NUMBER	e-CRV NO.
29.073.0190	414 Brubaker Dr, St. Charles	\$289,900.00	\$257,600.00	Wirt	ISA Eagle Enterprises, LLC	630412	1203418
29.010.0660	1461 Whitewater Ave, St. Charles	\$175,000.00	\$180,900.00	Miller	Decker	630470	1203767
29.055.0010	96 Richland Ave, St. Charles	\$178,000.00	\$172,500.00	Sutter/Scott	Mikshowsky	630793	1208485
29.086.0050	1213 Whispering Hills Dr, St. Charles	\$400,000.00	\$342,800.00	Greathouse	Petri	630913	1204007
29.060.0630	213 E 4th St, St. Charles	\$203,000.00	\$184,000.00	Degnan/Ramer	Blohm	631064	1212402
29.000.1030	401 E 13th St, St. Charles	\$177,000.00	\$48,500.00	Houska/Girmscheid	Hutkowski	631162	1211632
29.010.0261	1560 Wabasha Ave, St. Charles	\$224,000.00	\$191,100.00	Potter	Himle/Freiberg	631188	1210964
29.090.0040	579 13th St E, St. Charles	\$166,000.00	\$121,700.00	Winfield	Griffin	631281	1199715
29.074.0140	787 Northern Hills Circle, St. Charles	\$540,300.00	N/A (new built)	Hall	Pearson Builders, Inc.	631594	1212593
29.046.0180	902 E 15th St, St. Charles	\$234,000.00	\$225,000.00	Campbell	Holst	631904	1223163
29.046.0180	902 E 15th St, St. Charles	\$234,000.00	\$225,000.00	Campbell	Holst	631904	1223163
29.060.1030	454 Whitewater Ave, St. Charles	\$130,000.00	\$123,000.00	Barclay	Majerus	631998	1224283
29.057.0130	137 Renea Dr, St. Charles	\$265,000.00	\$262,100.00	Snitker/Arentz	Hesch	632562	1231456
29.060.2880	749 Wabasha Ave, St. Charles	\$160,000.00	\$141,900.00	Zillmer	Geisler	632568	1231569
29.070.0040	554 E 12th St, St. Charles	\$182,000.00	\$149,500.00	Wald	Hoover	632623	1232249
29.093.0080	1515 Whispering Hills Dr, St. Charles	\$419,000.00	\$374,300.00	Twernbold	Rislow	633138	1238811
29.098.0010	504 Trout Ave, St. Charles	\$243,900.00	N/A	White	Whitewater Properties, LLC	633193	1238989
29.060.2590	742 Bluff Ave, St. Charles	\$250,000.00	\$242,500.00	Schaber	Lange	633286	1239032
29.015.0040	833 Whitewater Ave, St. Charles	\$112,000.00	\$101,000.00	Hanson	For Rent, LLC	633695	1246573
29.030.0220	1437 Oakview Dr, St. Charles	\$80,000.00	\$103,600.00	Novak	Adafrin	633864	1249910
29.000.0299	462 4th Street E, St. Charles	\$540,000.00	\$505,200.00	Elsing	Speltz	634014	1253481
29.078.0260	529 Brook Ave, St. Charles	\$188,000.00	\$191,600.00	McGuire	Burton	634017	1253508
29.086.0160	1314 Whispering Hills Dr, St. Charles	\$410,000.00	\$384,300.00	Skadsem	Schwieder	634038	1249312
29.058.0010	1957 St. Charles Ave, St. Charles	\$450,000.00	\$373,000.00	Griffin	Duellman Trust	634056	1250254
29.060.2670	719 Church Ave, St. Charles	\$229,000.00	\$152,400.00	Ganske	Heim	634059	1252605
29.052.0030	325 Meadowview Dr, St. Charles	\$309,900.00	\$278,000.00	Schiltz/Vincent	Fox	634314	1259939
29.090.0020	507 E 13th St, St. Charles	\$186,000.00	\$194,000.00	Spitzer	MGW Holdings, LLC	634298	1260004
29.067.0080	302 Northern Hills Trail, St. Charles	\$290,000.00	\$286,800.00	Rasmussen	Delger	634321	1260304
29.060.2760	736 Church Ave, St. Charles	\$214,500.00	\$185,600.00	McClain	Martin	634367	1248394
29.067.0050	313 Northern Hills Trail, St. Charles	\$320,500.00	\$321,900.00	Peterson	McKay	634401	1261863
29.060.0460	307 Bluff Ave, St. Charles	\$110,000.00	\$101,200.00	Rollinger/Johnson	Ball	634457	1262614
29.074.0160	767 Northern Hills Circle, St. Charles	\$555,000.00	\$433,000.00	McKay	Decker	634608	1260152
29.060.1300	431 Richland Ave, St. Charles	\$239,900.00	\$183,200.00	Von Wald	Twernbold	634817	1270631
29.000.1560	1731 Whitewater Ave, St. Charles	\$160,000.00	\$151,500.00	LaPlante	Rasmussen	635019	1272184
29.045.0151	206 W 11th St, St. Charles	\$160,000.00	\$144,400.00	Kreuzer	Banicki	635542	1278181
29.048.0120	1500 Park Ave, St. Charles	\$285,000.00	\$208,500.00	Gordon/Johnson	Furtak	635517	1279660
29.090.0150	590 13th St E, St. Charles	\$289,000.00	\$240,000.00	Marsolek	Rinn	635628	1285091
29.010.0030	1273 Church Ave, St. Charles	\$235,900.00	\$174,200.00	Vikse	Nelton	635714	1289862
29.000.0891	1225 Bluff Ave, St. Charles	\$285,000.00	\$258,000.00	Fredrickson/Mollert	Davidson	635758	1290570
29.086.0140	1302 Whispering Hills Dr, St. Charles	\$447,500.00	\$379,100.00	Persons	Elsing	635817	1292922
29.010.0880	1525 Wabasha Ave, St. Charles	\$275,000.00	\$225,500.00	Jensen	Stevens Estate	635965	1294064
29.000.1750	1573 Wabasha Ave, St. Charles	\$238,000.00	\$220,700.00	Rima	Lee	636099	1285974
29.000.1100	1313 Richland Ave, St. Charles	\$158,000.00	\$103,700.00	Miller	Mueller	636155	1300452
29.060.0441	313 E 3rd St, St. Charles	\$268,000.00	\$210,500.00	McGuire	Heaser	636204	1292174
29.015.0010	807 Whitewater Ave, St. Charles	\$219,000.00	\$175,900.00	Rose	Volbrecht	636275	1298756
29.025.0140	1303 Oakview Dr, St. Charles	\$215,000.00	\$157,900.00	Walvatne	Rahman	636308	1300760
29.000.0220	63 Liberty Ave, St. Charles	\$329,900.00	\$304,500.00	Stricklin/Klocek	Schleusner	636418	1305772
29.010.1100	354 15th St East, St. Charles	\$190,400.00	\$187,000.00	Evanson	Klink	636468	1301383

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2021 CITY OF ST. CHARLES RESIDENTIAL SALES							
PARCEL NUMBER	LOCATION	PURCHASE PRICE	EMV	BUYER	SELLER	DOCUMENT NUMBER	e-CRV NO.
29.074.0160	775 Northern Hills Circle, St. Charles	\$65,000.00	\$50,400.00	Hutkowski	Pearson Properties, Inc	636507	1308053
29.041.0090	124 Gladiola Dr, St. Charles	\$420,000.00	\$258,700.00	Marley	Purl	636570	1309702
29.041.0161	374 Whitewater Ave, St. Charles	\$159,900.00	\$165,900.00	Hammel	Weightman	636585	1310505
29.088.0070	156 Whispering Hills Dr, St. Charles	\$425,000.00	\$338,600.00	Aust	Allen	636628	1307675
29.060.1180	460 Richland Ave, St. Charles	\$207,000.00	\$161,700.00	Salzmann	Reps	636713	1295451
29.010.0020	1267 Church Ave, St Charles	\$135,000.00	\$166,100.00	Island City Restoration, LLC	Gravos Estate	636824	1313434
29.075.0140	1313 Sunset Dr, St. Charles	\$234,900.00	\$214,900.00	Taylor	Marsolek	636889	1295120
29.078.0240	517 Brook Ave, St. Charles	\$274,900.00	\$207,200.00	Divis	Boe	636922	1313641
29.010.0010	1260 Richland Ave, St. Charles	\$234,000.00	\$161,600.00	Mercer	Schweitzer/Sveen	636959	1317039
29.000.1090	1331 Richland Ave, St. Charles	\$80,000.00	\$119,200.00	Heim	Streiff	637053	1318993
29.060.1820	515 Wabasha Ave, St. Charles	\$91,000.00	\$84,600.00	RoyAnn Holdings, LLC	Stokes Estate	637207	1286412
29.080.0040	1112 Bluff Ave, St. Charles	\$195,000.00	\$159,000.00	Awosika	Chiglo	637454	1319343
29.010.1010	1513 Whitewater Ave, St. Charles	\$98,000.00	\$107,100.00	SEW Properties One, LLC	Chaffee	637562	1327997
29.035.0170	1425 Sunset Dr, St. Charles	\$200,000.00	\$165,800.00	Wenzel	Denzer	637625	1329972
29.000.1426	225 Wiskow Way, St. Charles	\$459,000.00	\$351,400.00	Fitterer	Wiskow	637693	1330883
29.010.0750	1466 St Charles Ave, St. Charles	\$179,000.00	\$145,800.00	Hoffmann	Hewitt (et al)	637723	1323721
29.057.0020	106 Renea Dr, St. Charles	\$275,900.00	\$221,300.00	Pappe	Louprasong	638138	1321618
29.010.0881	260 W 15th St, St. Charles	\$150,000.00	\$111,900.00	Byington	Wegman	638291	1340630
29.080.0210	925 Bluff Ave, St. Charles	\$130,000.00	\$114,200.00	Holm	Holm	638275	1341167
29.045.0170	942 St Charles Ave, St. Charles	\$225,000.00	\$137,100.00	Countryman	Hanson	638397	1325195
29.066.0020	913 Clover Court, St. Charles	\$121,500.00	\$132,700.00	Ties	Loppnow	638483	1342619
29.010.0850	1542 St Charles Ave, St. Charles	\$262,000.00	\$178,800.00	Abel	Bloom	638665	1343821
29.060.2340	219 E 7th St, St. Charles	\$218,500.00	\$172,800.00	Bergan	Nelson	638927	1342415
29.041.0050	1111 Idso Court, St. Charles	\$325,000.00	\$284,900.00	Hedman	Nelson	639096	1354545
29.060.1650	506 Whitewater Ave, St. Charles	\$173,000.00	\$127,600.00	Hammel	Bergan/Heim	639175	1356179
29.030.0170	1537 Oakview Dr, St. Charles	\$205,000.00	\$191,900.00	Nelson/Cota	Rusert	639217	1351438
29.078.0190	516 Brook Ave, St. Charles	\$236,500.00	\$183,800.00	Jaszewski	David	639287	1357529
29.010.0070	1275 Church Ave, St. Charles	\$180,000.00	\$150,400.00	Choate	Hanenberger	639319	1357472
29.025.0250	1200 Oakview Dr, St. Charles	\$121,000.00	\$130,400.00	Lepsch	Louprasong	639426	1357821
29.060.2350	612 Bluff Ave, St. Charles	\$112,000.00	\$87,500.00	Gawne	Mueller	639500	1343187
29.072.0330	326 Northern Valley Dr, St. Charles	\$335,000.00	\$306,800.00	Sholes	Neumann	639555	1362099
29.046.0180	902 15th St E, St. Charles	\$363,000.00	\$240,400.00	Mechels/Pantoja	Campbell	639849	1364526
2021 Purchase Price:							
	To \$100,000	5					
	\$100,000 to \$150,000	9					
	\$150,000 to \$200,000	18					
	\$200,000 to \$250,000	19					
	\$250,000 to \$300,000	12					
	\$300,000 to \$350,000	5					
	\$350,000 to \$400,000	1					
	\$400,000 & Over	11					
	Total:	80					

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2021 CITY OF GOODVIEW COMMERCIAL SALES								
PARCEL NUMBER	LOCATION	PURCHASE PRICE	EMV	BUYER	SELLER	DOCUMENT NUMBER	TYPE	e-CRV
24.000.0040	4110 5th St, Goodview	\$425,000.00	\$289,900.00	Sanborn Canoe Co, LLC	Knitcraft Corporation	631470	Manufacturing/General Light	1216771
24.041.0030	7080 Highway 61 West, MN City	\$700,000.00	\$602,700.00	KBS Property Management, LLC	Ellefson Holdings, LLC	632839	Residential/Apartment (4+ units)	1231974
24.045.0110	635 45th Ave, Goodview	\$247,500.00	\$216,300.00	Lecy	Benter	632949	Residential/Apartment (4+ units)	1236431
24.065.0030	10000 71st Ave, MN City	\$390,000.00	\$375,900.00	W D Larson Companies LTD, Inc	Mikrut Properties, LLLP	633465	Other/Special Use/Unspecified (Trucking Dealership)	1241517
24.041.0031	1325 11th Ave, Goodview	\$300,000.00	\$127,200.00	KBS Property Management, LLC	Ellefson Holdings, LLC	637370	Other/Special Use/Unspecified	1325166
24.041.0034								
24.011.0021	5229 6th St, Goodview	\$140,000.00	\$143,000.00	Loos Bros, LLC	Just Store It, LLC	633725	Other/Special Use/Unspecified	1244699
2021 CITY OF LEWISTON COMMERCIAL SALES								
PARCEL NUMBER	LOCATION	PURCHASE PRICE	EMV	BUYER	SELLER	DOCUMENT NUMBER	TYPE	e-CRV
25.059.0210	505 E Main St, Lewiston	\$1,900,000.00	\$982,000.00	Crocus Crest Senior Living, LLC	LSL RE, LLC	632640	Residential/Assisted living	1233184
25.060.0420	280 E Main St, Lewiston	\$150,000.00	\$80,700.00	Son's Property, LLC	Brion	633639	Warehouse/Office	1245650
25.055.0240								
25.015.0080	400 Debra Dr, Lewiston	\$220,000.00	\$228,500.00	TMB Investments, LLC	Kabey Enterprises, LLLP	635056	Retail/General Retail	1272719
2021 CITY OF ST. CHARLES COMMERCIAL SALES								
PARCEL NUMBER	LOCATION	PURCHASE PRICE	EMV	BUYER	SELLER	DOCUMENT NUMBER	TYPE	e-CRV
29.010.0300	1318 St. Charles Ave, St. Charles	\$150,000.00		Pearson Builders, Inc.	Millard	630457	Other/Special Use/Parking surface	1203649
29.015.0160	1121 Whitewater Ave, St. Charles	\$195,000.00	\$138,500.00	Wiskow	Johnson/Myers	634371	Retail/General	1260681
29.015.0490	912 Whitewater Ave, St. Charles	\$95,000.00	\$135,800.00	Bloo, LLC	St. Charles Main Street Apartments, LLC	635891	Retail/General Retail	1295040
29.026.0030	2133 Enterprise Dr, St. Charles	\$752,000.00	\$911,500.00	Diamond Land Holdings, LLC	REDUS One, LLC	636279	Manufacturing/General Light	1301970
29.060.1890	331 W 6th St, St. Charles	\$330,000.00	\$156,300.00	Diaz	Cavin Hills Properties	636358	Restaurants/Bars/Clubs/Coffee Shop	1303699
29.060.1880	313 W 6th St, St. Charles	\$170,000.00	\$174,800.00	MAVM Holdings, LLC	Ryan	637361	Office/General Office	1324876
29.025.0090	1201 & 1233 Oakview Dr, St. Charles	\$540,000.00	\$451,800.00	Oakview Rentals, LLC	Eleutheria, LLC	637551	Residential/Apartment (4+ units)	1328986
29.025.0100								
29.015.0060	925 Whitewater Ave, St. Charles	\$100,000.00	\$163,100.00	KDO Enterprises, LLC	Phar Properties of SE MN, LLC	638144	Entertainment/Sports/Health/Fitness Club	1338325
29.015.0460	956 Whitewater Ave, St. Charles	\$149,000.00	\$93,000.00	Natural Nutrition, LLC	Zanto	638385	Retail/General Retail	1342589
29.000.0910	412 E 12th St, St. Charles	\$575,000.00	\$393,000.00	Hegerd, LLC	Dabelstein	639553	Residential/Apartment (4+ units)	1362097
2021 CITY OF UTICA COMMERCIAL SALES								
PARCEL NUMBER	LOCATION	PURCHASE PRICE	EMV	BUYER	SELLER	DOCUMENT NUMBER	TYPE	e-CRV
31.003.0020	318 & 324 Railroad St, Utica	\$48,000.00	\$48,000.00	Chadborn	Ellsworth	630776	Residential/Apartment (4+ units)	1208403
31.003.0030								
31.000.0003	16231 County Rd 18, Utica	\$550,000.00	\$400,700.00	Driftless Properties, LLC	Driftless Holdings, LLC	638169	Manufacturing/Agribusiness related	1339273

MINNESOTA DEPARTMENT OF TRANSPORTATION THE COUNTY OF WINONA

CONSTRUCTION PLAN FOR STORM SEWER, CONCRETE CURB AND GUTTER, STREET RECONSTRUCTION

LOCATED ON CSAH 34 (ST CHARLES AVE & 14TH ST) & CR 127 (ST. CHARLES AVE.)
FROM MN 74 TO US 14 GEOGRAPHIC LOCATION

FROM: 713 Feet NORTH AND 1409 Feet WEST OF SE Cor.
SEC. 19, TOWNSHIP 106 NORTH, RANGE 10 WEST

TO: 3328 Feet NORTH AND 1801 Feet WEST OF SE COR.
SEC. 19, TOWNSHIP 106 NORTH, RANGE 10 WEST

GROSS LENGTH 2977 FEET 0.56 MILES
BRIDGES LENGTH 0.000 FEET 0.00 MILES
EXCEPTIONS LENGTH FEET MILES
NET LENGTH 2977 FEET 0.56 MILES

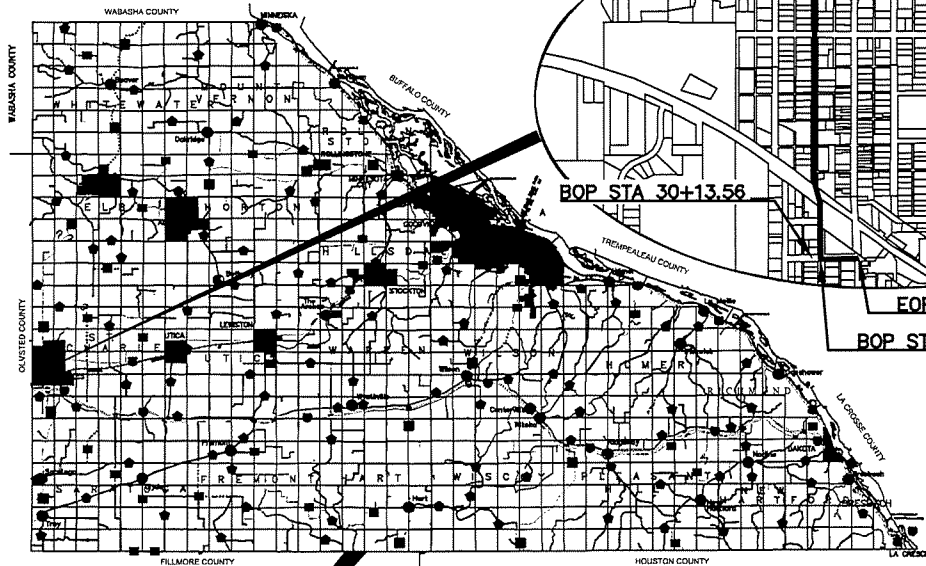
PROJECT LOCATION

EOP STA 27+31.29

BOP STA 30+13.56

EOP STA 34+24.56

BOP STA 0+62.05



THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS
UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS
DETERMINED ACCORDING TO THE GUIDELINES OF CIASCE
38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION
AND DEPICTION OF EXISTING SUB-SURFACE UTILITY DATA"

THE CONTRACTOR SHALL VERIFY
UNDERGROUND UTILITY LOCATIONS AND
ELEVATIONS PRIOR TO CONSTRUCTION ALL
INPLACE UTILITIES MAY NOT BE SHOWN ON PLAN
GOPHER STATE ONE CALL 1-800-252-1166

Winona County
HIGHWAY DEPARTMENT
5300 HIGHWAY 61 WEST
WINONA, MINNESOTA 55987
(507) 457-8840

GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF
TRANSPORTATION "STANDARD SPECIFICATIONS FOR
CONSTRUCTION" SHALL GOVERN.

INDEX

SHEET	SUBJECT
1	TITLE SHEET
2	SEQ
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37	TRAFFIC CONTROL
38 - 50	CROSS SECTIONS

THIS PLAN CONTAINS 50 SHEETS

CSAH DESIGN PLANS CP 2103 & CP 2104
DESIGN DESIGNATION

PRESENT ADT (YEAR) 810 (2021) PROJECTED ADT (YEAR) 888 (2041)
FUNCTIONAL CLASSIFICATION MAJOR COLLECTOR
NO. OF TRAFFIC LANES 2 SHOULDER WIDTH 6 NO. OF PARKING LANES 2
10-TON DESIGN PROJ. HCDT (YEAR) 95 (2041)
SOIL FACTOR 120 20 YEAR DESIGN ESAL 231,000
POSTED SPEED 30 MPH
STOPPING SIGHT DISTANCE BASED ON:
3.5' HEIGHT OF EYE
2.0' HEIGHT OF OBJECT

LOCAL AGENCY SIGNATURES:

APPROVED _____ DATE _____
JOHN SCHABER, MAYOR
CITY OF ST. CHARLES

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY
DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DAREN D. SIKKINK LICENSE NO. 40914 DATE _____

APPROVED _____ DATE _____

DAVID F. KRAMER LICENSE NO. 24470 DATE _____
WINONA COUNTY ENGINEER

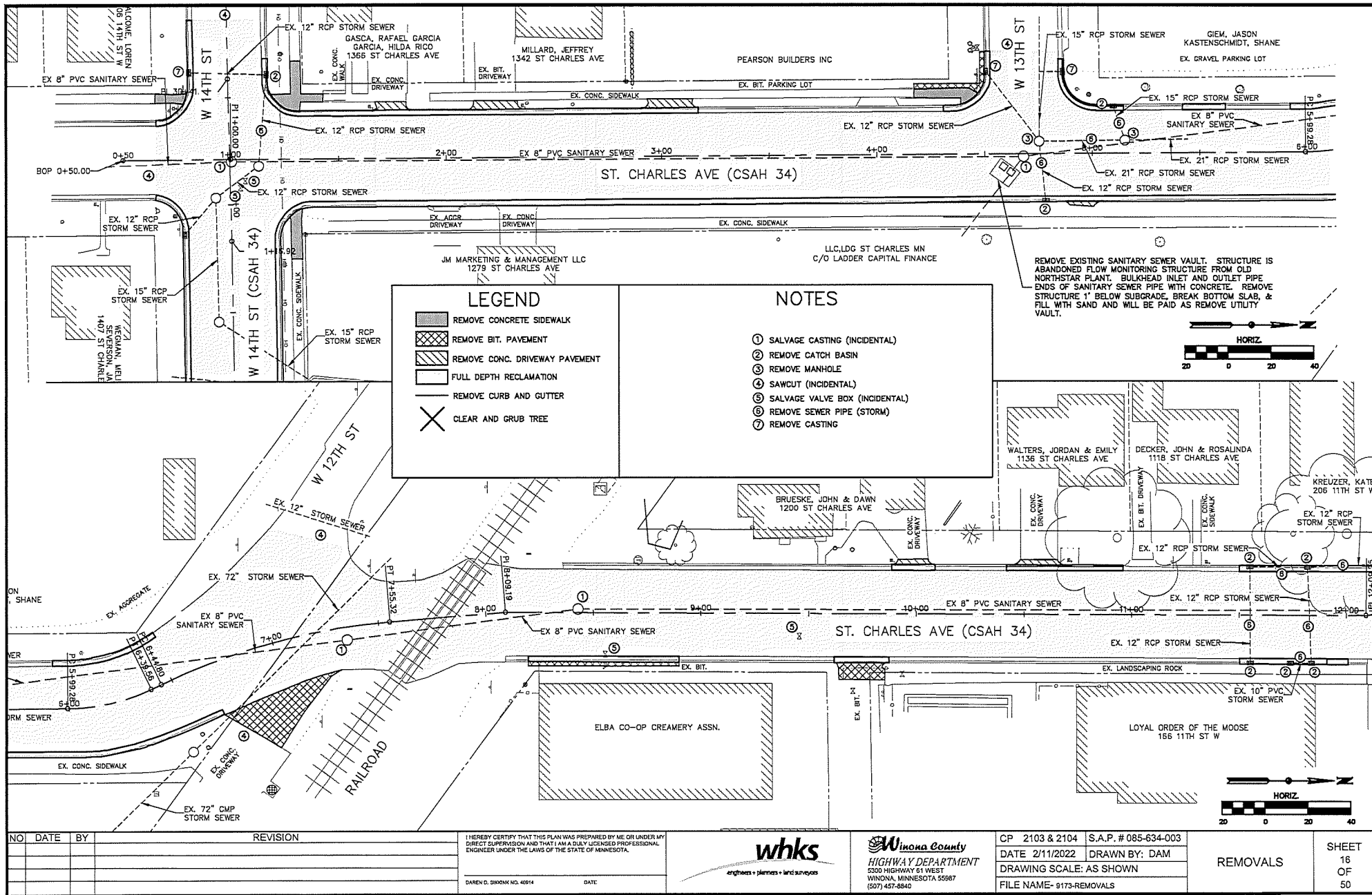
STATE AID APPROVALS:

DISTRICT STATE AID ENGINEER _____ DATE _____
REVIEWED FOR COMPLIANCE
WITH STATE AID RULES / POLICY

STATE AID ENGINEER _____ DATE _____
APPROVED FOR STATE AID FUNDING

STATE AID PROJECT NO. **085-634-003**
COUNTY PROJECT NO. **2103 & 2104**

SHEET
01
OF
50



NO.	DATE	BY	REVISION

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

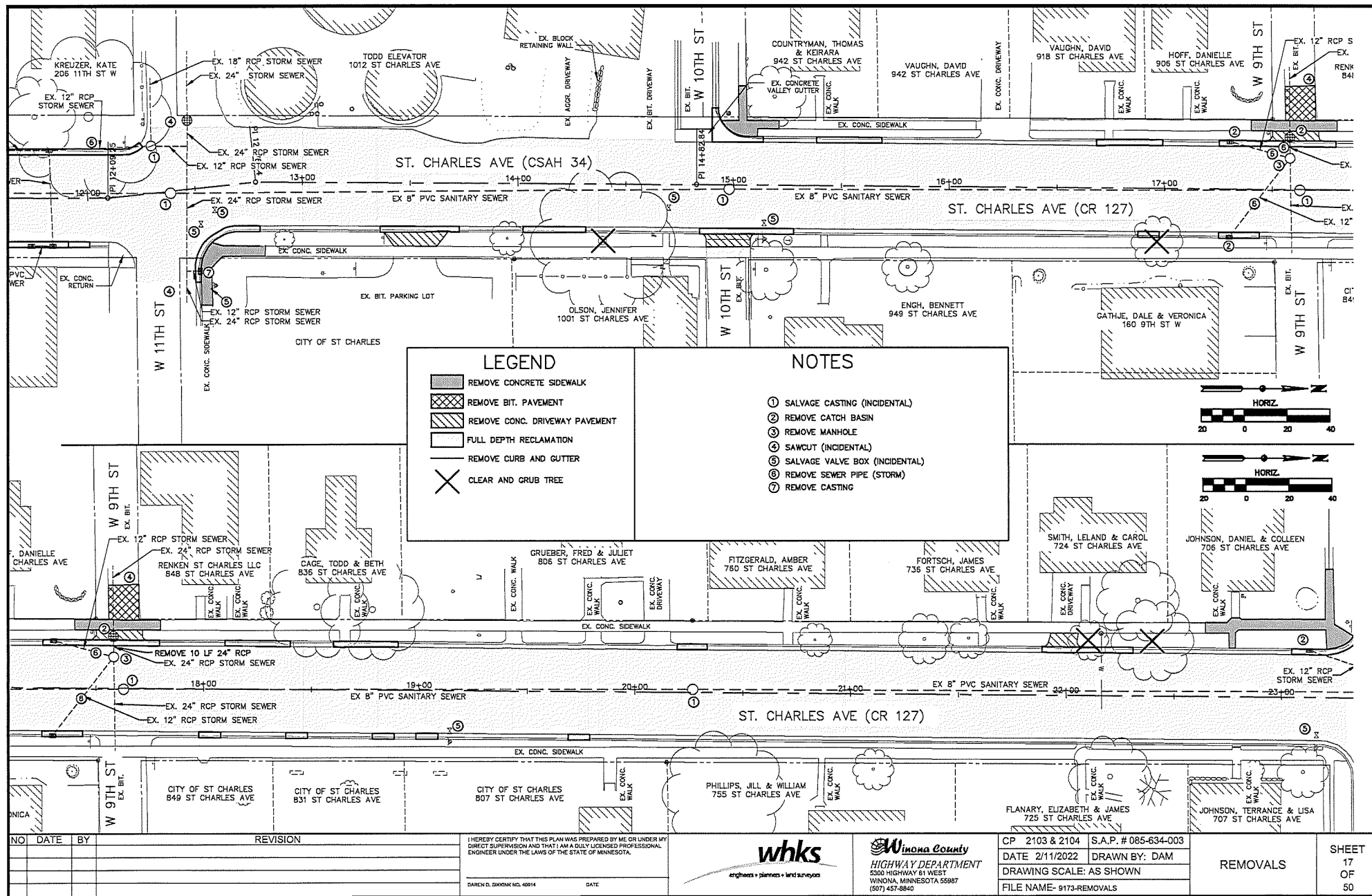
DAREN D. SIKONIK NO. 46914 DATE:

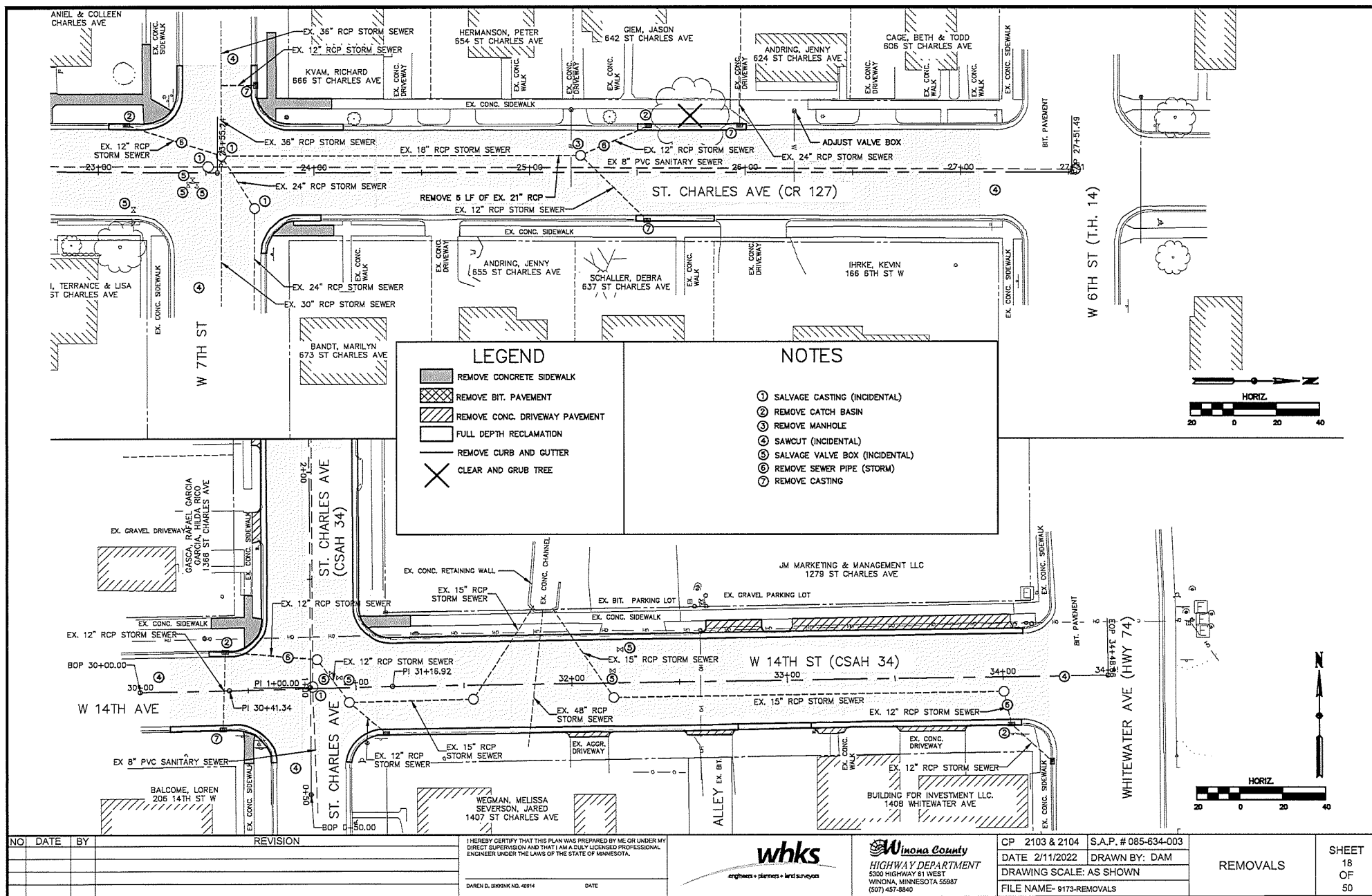


Winona County
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 5300 HIGHWAY 61 WEST
 WINONA, MINNESOTA 55987
 (507) 457-8840

CP 2103 & 2104	S.A.P. # 085-634-003
DATE 2/11/2022	DRAWN BY: DAM
DRAWING SCALE: AS SHOWN	
FILE NAME- 9173-REMOVALS	

REMOVALS	SHEET
	16
	OF 50





PROJECT LOCATION AND GENERAL SITE INFORMATION

CONSTRUCTION OF STORM SEWER, CONCRETE CURB & GUTTER, AND STREET RECONSTRUCTION LOCATED ON CSAH 34 (14TH ST & ST. CHARLES AVE) & CR 127 (ST CHARLES AVE) FROM MN 74 TO US 14.

TRAINING REQUIREMENTS

THE CONTRACTOR WILL ENSURE THAT THE TRAINING REQUIRED IN PART III.A.2 OF THE GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY IS COMPLIED WITH.

THE INDIVIDUAL TRAINED AND THE TRAINING RECEIVED WILL BE RECORDED IN THE SWPPP BEFORE THE START OF CONSTRUCTION OR AS SOON AS PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED.

LONG TERM OPERATION AND MAINTENANCE

THE CITY OF ST. CHARLES MAINTENANCE DEPARTMENT WILL BE RESPONSIBLE FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT.

NICK KOVERMAN
CITY ADMINISTRATOR
830 WHITEWATER AVENUE
ST CHARLES, MN 55972
507-932-3020

KARST REGION, PART III.A.7

THIS PROJECT IS LOCATED IN AN AREA THAT IS CONSIDERED ACTIVE KARST, MEANING THE AREA IS UNDERLAIN BY CARBONATE BEDROCK WITH LESS THAN 50-FEET OF SEDIMENT COVER.

INSPECTIONS AND REPORTS PRACTICES

ROUTINE INSPECTION OF THE ENTIRE CONSTRUCTION SITE SHALL OCCUR AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.

AT A MINIMUM, INSPECTIONS AND REPORTS MUST INCLUDE THE FOLLOWING:

- (1) DATE AND TIME OF INSPECTION.
- (2) NAME OF PERSON CONDUCTING INSPECTIONS
- (3) CONDITIONS OF SURFACE WATERS, DITCHES, CONVEYANCE SYSTEMS, AND VEHICLE EXITS.
- (4) FINDING OF INSPECTIONS, INCLUDING RECOMMENDATIONS FOR CORRECTIVE ACTIONS.
- (5) CORRECTIVE ACTIONS TAKEN, INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES.
- (6) DATE AND AMOUNT OF ALL RAINFALL EVENTS GREATER THAN 0.5 INCHES IN 24 HOURS.
- (7) DOCUMENTATION OF CHANGES MADE TO THE SWPPP WITHIN 7 DAYS.

RECEIVING SURFACE WATERS, DISCHARGE TO IMPAIRED WATERS & SPECIAL WATERS

THE TABLE BELOW IDENTIFIES ALL SURFACE WATERS WITHIN 1-MILE OF THE DISTURBED SOIL PROJECT BOUNDARIES, WHICH WILL RECEIVE STORMWATER RUNOFF FROM THE CONSTRUCTION SITE, DURING OR AFTER CONSTRUCTION.

NAME OF WATER BODY	SPECIAL WATER (1)	IMPAIRED WATER (2)
WHITEWATER RIVER, SOUTH FORK	NO	YES

WETLAND AREAS

THIS PROJECT DOES NOT DISCHARGE STORMWATER WITH THE POTENTIAL FOR SIGNIFICANT ADVERSE IMPACTS TO A WETLAND.

DISTURBED SOIL AREA

TOTAL DISTURBED SOILS AREA FOR THIS PROJECT IS 3.4 ACRES.

IMPERVIOUS SOIL AREA

EXISTING AREA OF IMPERVIOUS SURFACE IS 3.05 ACRES.
POST CONSTRUCTION AREA OF IMPERVIOUS SURFACE IS 3.03 ACRES.
INCREASE OF IMPERVIOUS SURFACE IS -0.02 ACRES.

THE INCREASE OF IMPERVIOUS SURFACES IS LESS THAN 1.00 ACRE.

SOIL TYPES

THE SOIL TYPES FOUND ON THIS PROJECT ARE SOIL TYPE A, B

TEMPORARY SEDIMENT BASINS

THIS CONSTRUCTION PROJECT AS DESIGNED DOES NOT MEET ANY OF THE TEMPORARY SEDIMENT BASIN DISTURBED AREA THRESHOLD REQUIREMENTS (10 ACRES OF DISTURBED SOIL). THEREFORE A TEMPORARY SEDIMENT BASIN WILL NOT BE REQUIRED.

PERMANENT STORMWATER MANAGEMENT SYSTEM

ALL STORMWATER MUST BE DISCHARGED IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS, EROSION IN RECEIVING WATERS OR ON DOWNSLOPE PROPERTIES, OR INUNDATION IN WETLANDS CAUSING A SIGNIFICANT ADVERSE IMPACT TO THE WETLANDS.

THIS PROJECT HAS LESS THAN 1 ACRE INCREASE IN IMPERVIOUS AREA.

CONSTRUCTION PHASING - EROSION AND SEDIMENT CONTROL SEQUENCING

SILT FENCE, CONSTRUCTION ENTRANCES, AND/OR OTHER SUITABLE PERIMETER BMP'S AS PROVIDED IN THE PLANS WILL BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBING ACTIVITY. CONSTRUCTION WILL BE REQUIRED TO BE PHASED SO THAT ALL DOWN GRADIENT SEDIMENT CONTROL MEASURES ARE INSTALLED PRIOR TO OR IN CONJUNCTION WITH ANY SOIL DISTURBING ACTIVITIES. THESE BMP'S SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION.

WHEN THE EXISTING TOPSOIL IS DISTURBED, THE TOPSOIL WILL BE STRIPPED AND STOCKPILED IN SOIL BERMS. STOCK PILED TOPSOIL BERMS WILL NOT BE PLACED IN ANY STORMWATER CONVEYANCES.

UPON COMPLETION OF THE CONSTRUCTION ACTIVITIES, THE STOCKPILED TOPSOIL BERMS WILL BE RE-SPREAD AND PERMANENT VEGETATION WILL BE ESTABLISHED AS PROVIDED IN THE PLAN.

ALL SOIL DISTURBING ACTIVITIES MUST BE COMPLETED AND ALL SOILS MUST BE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OVER THE ENTIRE PVIOUS SURFACE AREA, OR OTHER EQUIVALENT MEANS NECESSARY TO PREVENT FUTURE SOIL FAILURE UNDER EROSION CONDITIONS. ALL SEDIMENT MUST BE REMOVED FROM CONVEYANCE SYSTEMS AND DITCHES MUST BE STABILIZED WITH PERMANENT COVER. FINAL STABILIZATION SHALL BE DON IN ACCORDANCE WITH PART IV.G.

EROSION PREVENTION PRACTICES, PART IV.B

FOR AREAS WHERE DISTURBED SOILS DRAIN TO AN IMPAIRED OR SPECIAL WATER THE EXPOSED SOIL MUST BE STABILIZED NO LATER THAN 7 DAYS (14 DAYS IF NOT IMPAIRED OR SPECIAL WATER) AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA CEASED. SEE THE IMPAIRED & SPECIAL WATERS SECTION OF THIS SWPPP FOR ADDITIONAL BMP REQUIREMENTS FOR DISTURBED AREAS THAT DRAIN TO A SPECIAL OR IMPAIRED WATER.

SOILS SHALL BE STABILIZED WITHIN 24 HOURS FOR ACTIVITIES THAT ARE ADJACENT TO AND DRAIN TO PUBLIC WATERS WITH RESTRICTIONS DURING FISH SPAWNING TIMES.

THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER. STABILIZATION OF THE LAST 200 LINEAL FEET MUST BE COMPLETED WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.

PIPE CULVERT OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER. THIS WILL INCLUDE DRAINAGE DITCHES THAT DRAIN WATER FROM ANY PORTION OF THE CONSTRUCTION SITE.

SEDIMENT CONTROL PRACTICES, PART IV.C

TEMPORARY STOCKPILED TOPSOIL BERMS MUST INCLUDE PERIMETER BMP'S AS PROVIDED IN THE PLAN AT LOCATIONS WHERE CONSTRUCTION STORMWATER DRAINS FROM THE PROJECT.

A 50 FOOT NATURAL BUFFER, OR REDUNDANT SEDIMENT CONTROLS IF BUFFER IS NOT FEASIBLE, SHALL BE USED NEAR SURFACE WATERS.

IN ORDER TO MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES, THERE SHALL BE NO UNBROKEN SLOPE LENGTH OF GREATER THAN 75 FEET FOR SLOPES WITH A GRADE OF 1:3 OR STEEPER.

ALL STORM DRAIN INLETS AND CULVERTS MUST BE PROTECTED BY APPROPRIATE BMP'S DURING CONSTRUCTION UNTIL ALL SOURCES WITH A POTENTIAL DISCHARGE TO THE INLET OR CULVERT HAVE BEEN STABILIZED.

VEHICLE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE MUST BE MINIMIZED BY THE USE OF A STABILIZED CONSTRUCTION ENTRANCE AND OTHER BMP'S. STREET SHEEPING MUST BE USED IF SEDIMENT IS BEING TRACKED OFF THE CONSTRUCTION SITE.

UNLESS OTHERWISE SPECIFIED IN THE PERMIT, ALL NONFUNCTIONAL BMP'S MUST BE CLEANED, REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMP'S WITHIN 24 HOURS AFTER DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW FOR ACCESS.

EROSION & SEDIMENT CONTROL SCHEDULE

- 1) MARK GRADING LIMITS AND "DO NOT DISTURB AREAS".
- 2) INSTALL PERIMETER EROSION CONTROL.
- 3) CONSTRUCT STABILIZED VEHICLE EXITS.
- 4) INSTALL INLET PROTECTION.
- 5) BEGIN GRADING OPERATIONS.
- 6) INCREMENTALLY SEED AND BLANKET AREAS OR SOD AS GRADING PROGRESSES.
- 7) MAINTAIN AND UPDATE INLET PROTECTION THROUGH JOB PHASES.
- 8) COMPLETE MAINTENANCE AND REPAIRS OF EROSION AND SEDIMENT CONTROLS.
- 9) STABILIZE FINAL INCREMENT OF GRADING AREA.
- 10) MONITOR GRASS GROWTH AND RESEED/RESOD WHERE NEEDED UNTIL SITE IS STABILIZED.
- 11) REMOVE SILT FENCE AND OTHER TEMPORARY EROSION CONTROLS.
- 12) CLEAN BASINS OF ALL CONSTRUCTION RELATED SEDIMENTATION WHENEVER VOLUME REACHES 1/2 STORAGE VOLUME: WITHIN 72 HOURS.
- 13) FILE "NOTICE OF TERMINATION" WITH THE MPCA.

RECORD RETENTION

THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WILL BE AMENDED IF THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT IMPACT ON THE DISCHARGE TO SURFACE WATERS OR UNDERGROUND WATERS. THE PLAN WILL ALSO BE AMENDED IF IT IS PROVEN TO BE INADEQUATE IN CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES DUE TO CONSTRUCTION ACTIVITIES.

THE SWPPP, ORIGINAL AND COPIES, MUST BE KEPT ON SITE DURING CONSTRUCTION BY THE PERMITTEE WHO HAS OPERATIONAL CONTROL OF THE SITE. ALL OWNERS MUST KEEP THE SWPPP, TRAINING DOCUMENTATION, RECORDS OF ALL INSPECTION AND MAINTENANCE, ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS, ALL REQUIRED CALCULATIONS FOR DESIGN OF STORMWATER MANAGEMENT SYSTEMS, AND ANY OTHER PERMITS REQUIRED FOR THE PROJECT FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOTICE OF TERMINATION AS DESCRIBED IN I.I.D.

LOCATION OF SWPPP REQUIREMENTS

REQUIREMENT	TITLE	LOCATION	MN/DOT SPECIFICATION	SPECIAL PROVISION
NPDES PERMIT COMPLIANCE	SWPPP		1701, 1702, & 1717	1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT)
CERTIFIED PERSONNEL IN EROSION AND SEDIMENT CONTROL SITE MANAGEMENT	PROJECT CONTACTS	SWPPP PLANSET PAGE	1506, 1717, & 2573	1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT)
CHAIN OF RESPONSIBILITY	PROJECT CONTACTS			
PROJECT SCHEDULE / WEEKLY EROSION & SEDIMENT CONTROL SCHEDULE / COMPLETED INSPECTION / MAINTENANCE LOG				1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT)
SWPPP PREPARATION				
SITE MAP / RECEIVING WATERS / DIRECTION OF FLOW	GENERAL LAYOUT	PLANS	1717	
PROJECT SPECIFIC CONSTRUCTION STAGING			1717	1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT) 1808 (DETERMINATION AND EXTENSION OF CONTRACT TIME)
TEMPORARY EROSION AND SEDIMENT CONTROL BMP LOCATIONS, INSTALLATION, TIMING OF INSTALLATION, AND TYPE OF BMP	QUANTITY TABULATIONS	PLANS	2573 & 2575	2573 (STORMWATER MANAGEMENT)
ADDITIONAL TEMPORARY AND OR PERMANENT EROSION AND SEDIMENT CONTROL BMP'S NOT PROVIDED OR SHOWN IN THE PLAN			1717, 2573, & 2575	1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT) 2575 (RAPID STABILIZATION SPECIFICATION)
MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES, REMOVAL OF TRACKED SEDIMENT, REMOVAL OF DEVICES	SEDIMENT CONTROL PRACTICES	SWPPP PLANSET PAGE	1717 & 2573	1514 (MAINTENANCE DURING CONSTRUCTION) 1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT)
DEWATERING	DEWATERING & DRAINING	SWPPP DOCUMENT	2105.3B & 2451.3C	DEWATERING MAY ALSO REQUIRE A DNR PERMIT. NO DEWATERING IS ANTICIPATED FOR THIS PROJECT.
FINAL STABILIZATION	QUANTITY TABULATIONS	PLANS & SPECS	1717, 2573, & 2575	1717 (AIR, LAND, & WATER) 1717 (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT)
TEMPORARY EROSION AND SEDIMENT CONTROL DETAILS	EROSION CONTROL	PLAN DETAILS		
PERMANENT EROSION CONTROL DETAILS	EROSION CONTROL	PLAN DETAILS		

NO DATE BY REVISION

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DAREN D. DIXONK NO. 42814

DATE

whks
engineers • planners • land surveyors

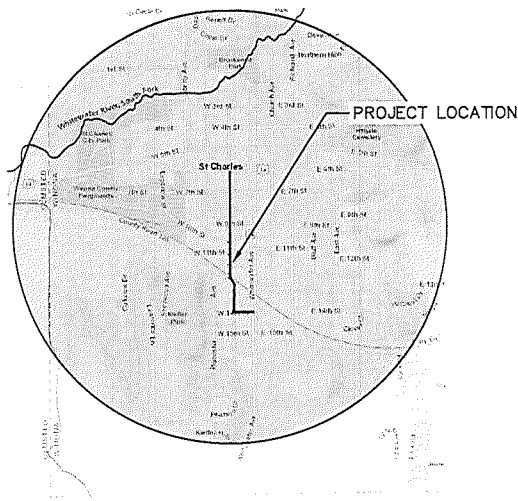
Winona County
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WINONA, MINNESOTA 55987
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CP 2103 & 2104 PROJ. # 085-634-003
DATE 2/11/2022 DRAWN BY: DAM
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FILE NAME- 9173_Erosion_Control_SWPPP

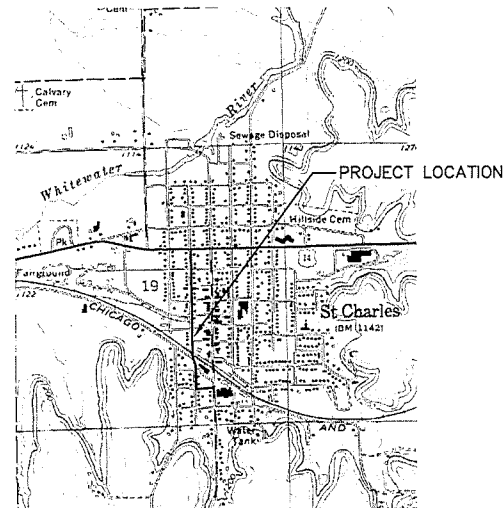
SWPPP - 1

SHEET
19
OF
50

SPECIAL WATERS MAP



QUAD MAP



POLLUTION PREVENTION MEASURES

THE CONTRACTOR WILL IMPLEMENT THE POLLUTION PREVENTION MANAGEMENT MEASURES AS DIRECTED IN THE NPDES PERMIT PART IV.F 1-4 AS PERTAINING TO SOLID WASTE, HAZARDOUS MATERIALS, EXTERNAL TRUCK WASHING, AND CONCRETE WASHOUT ON SITE.

SOLID WASTE: NON-HAZARDOUS WASTE SUCH AS COLLECTED SEDIMENT, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION DEBRIS AND OTHER WASTES SHALL BE STOCKPILED AT AN APPROVED LOCATION. ALL NON-HAZARDOUS WASTE SHALL BE DISPOSED OF PROPERLY AND IN ACCORDANCE WITH MPCA REQUIREMENTS AND MNDOT SPECIFICATION 1717.A.4.

HAZARDOUS WASTE: ALL HAZARDOUS WASTE SUCH AS OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED. STORAGE SHALL INCLUDE SECONDARY CONTAINMENT OR OTHER MEASURES TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGES. ACCESS TO STORAGE AREAS MUST BE RESTRICTED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST COMPLY WITH MANUFACTURERS' RECOMMENDATIONS AND THE MPCA REQUIREMENTS.

CONSTRUCTION VEHICLE WASHING: EXTERNAL WASHING OF TRUCKS AND CONSTRUCTION VEHICLES WILL NOT BE ALLOWED ON SITE. ENGINE DEGREASING IS NOT ALLOWED ON SITE.

FUELING AND SPILL PLAN: THE CONTRACTOR SHALL HAVE A FUELING OPERATION PLAN AND A PLAN IN THE EVENT OF A SPILL.

CHEMICAL TREATMENT PLAN: THE CONTRACTOR SHALL HAVE A CHEMICAL TREATMENT PLAN THAT INCLUDES CHEMICALS USED FOR FLOCCULATION.

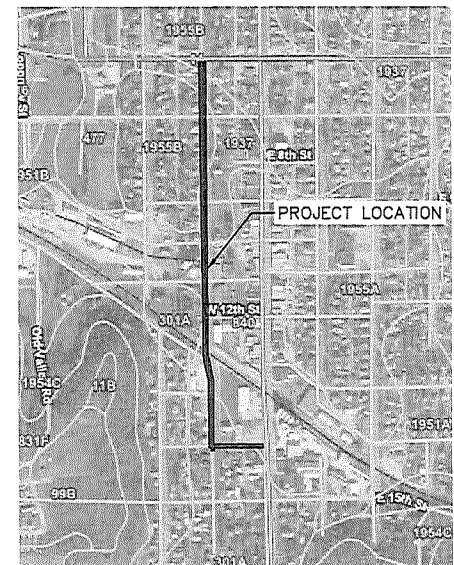
SANITARY AND SEPTIC WASTE: PORTABLE TOILETS ON THE SITE MUST BE SECURED AND SANITARY WASTE DISPOSAL WILL COMPLY WITH THE MPCA SEPTAGE MANAGEMENT GUIDELINES INCORPORATING 40 CFR PART 503.

FOR CONCRETE WASHOUT ON SITE, ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.

THESE MANAGEMENT MEASURES FOR POLLUTION PREVENTION WILL BE STRICTLY ENFORCED.

SOILS MAP

Map Sheet	Map Sheet Name	Area in Acres	Percent of Area
11B	Sage vlt loam, 1 to 6 percent slopes	4.0	1.2%
11D	Sage vlt loam, rocky, 1 to 30 percent slopes	2.0	0.8%
05C	Dunbar loess, 1 to 12 percent slopes	1.0	1.1%
99D	Roscoe silt loam, 2 to 6 percent slopes	13.6	4.0%
298D	Roscoe silt loam, 1 to 6 percent slopes	16.1	4.7%
701A	Ludlow silt loam, 1 to 3 percent slopes	26.7	7.8%
427E	Ludlow silt loam, 2 to 45 percent slopes	1.7	0.5%
477	Ludlow silt loam	8.1	2.4%
831F	Sage silt loam, 1 to 6 percent slopes	23.0	6.7%
84B	Ludlow silt loam, 1 to 6 percent slopes	41.1	12.0%
101B	Ludlow silt loam	6.2	2.3%
1937	Ludlow silt loam, 1 to 6 percent slopes	30.0	8.8%
1951A	Flagler sandy loam, bedrock outcrop, 0 to 2 percent slopes	25.8	7.5%
1951B	Flagler sandy loam, bedrock outcrop, 2 to 6 percent slopes	2.4	1.0%
1951C	Marble silt loam, 1 to 6 percent slopes	4.5	1.3%
1951D	Marble silt loam, 1 to 6 percent slopes	2.0	0.6%
1951E	Marble silt loam, 1 to 6 percent slopes	26.5	7.7%
1951F	Marble silt loam, 1 to 6 percent slopes	32.8	9.6%
1951G	Marble silt loam, 1 to 6 percent slopes	62.2	18.2%
1951H	Marble silt loam, 1 to 6 percent slopes	2.8	0.8%



PROJECT CONTACTS

RESPONSIBLE AGENCY / PARTY	PERMIT CERTIFIED TRAINING (REFRESHER EVERY 3 YEARS)	INSTRUCTOR, DATE OF TRAINING	CONTACT NAME	PHONE NUMBER
MPCA	NPDES		DAVID BODOVINTZ	507-206-2654
MPCA	EMERGENCY		STATE DUTY OFFICER	800-422-0798
DNR	NOT REQUIRED		LUCAS YOUNGSMAN	651-299-4620
COE	NOT REQUIRED		DAVE STUDENSKI	507-895-2064
SWPPP PREPARATION	U OF MN DESIGN OF SWPPP EXPIRES 5/24	JOHN CHAPMAN ONLINE SPRING 2021	SCOTT HUNEKE	507-288-3923
INSPECTOR			TO BE DETERMINED	
PROJECT ENGINEER	U OF MN DESIGN OF SWPPP EXPIRES 5/24	JOHN CHAPMAN ONLINE SPRING 2021	SCOTT HUNEKE	507-288-3923
EROSION CONTROL SUPERVISOR (CONTRACTOR)	TO BE DETERMINED		TO BE DETERMINED	
CHAIN OF RESPONSIBILITY	NOT REQUIRED		TO BE DETERMINED	

QUANTITIES

2 EACH TEMPORARY ROCK CONSTRUCTION ENTRANCE
25 EACH INLET PROTECTION

NO	DATE	BY	REVISION

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DAREN D. SIKONIK NO. 40914 DATE

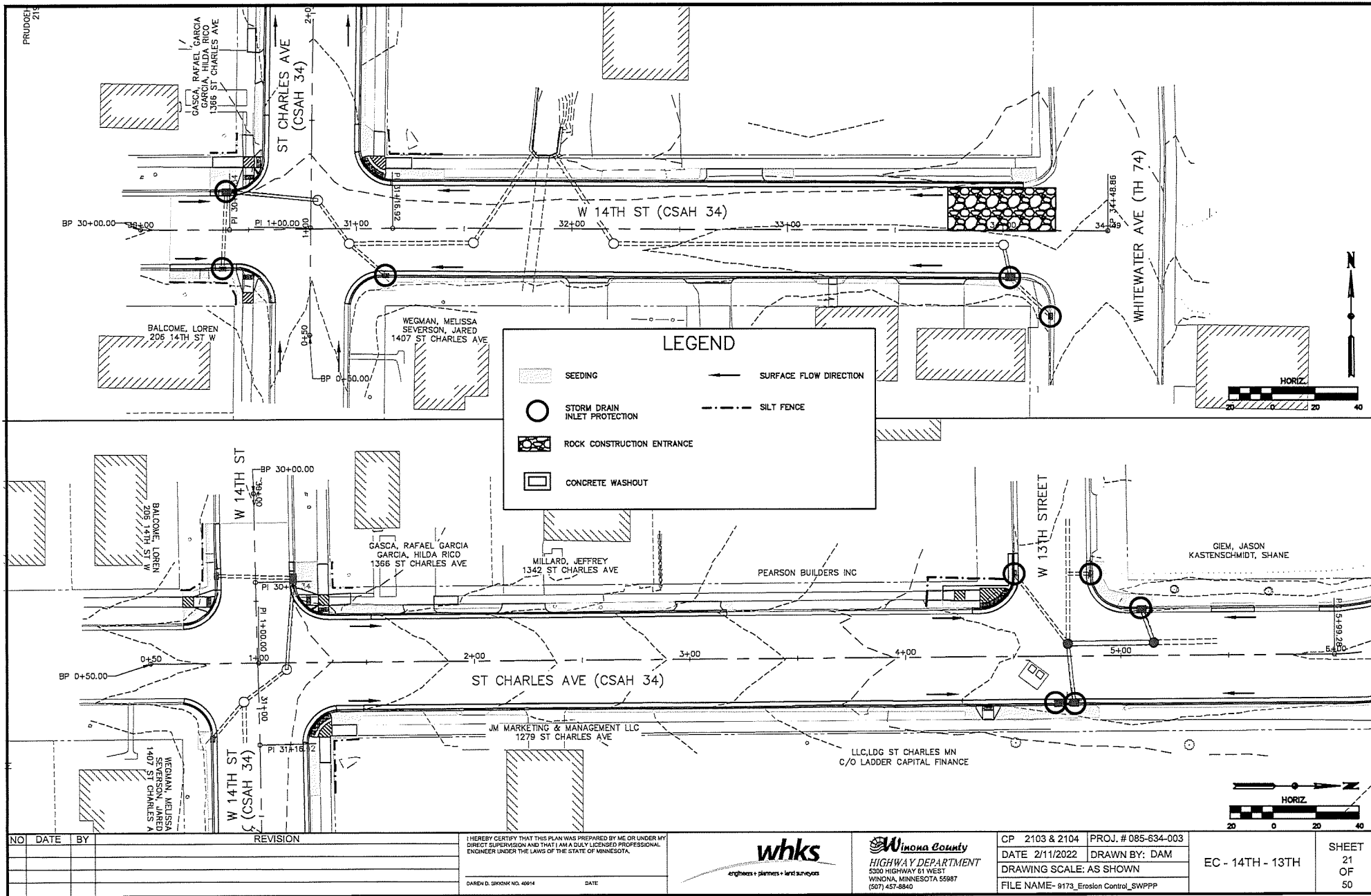
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engineers • planners • land surveys

Winona County
HIGHWAY DEPARTMENT
5300 HIGHWAY 61 WEST
WINONA, MINNESOTA 55907
(507) 457-8840

CP 2103 & 2104 PROJ. # 085-634-003
DATE 2/1/2022 DRAWN BY: DAM
DRAWING SCALE: AS SHOWN
FILE NAME- 9173_Erosion Control_SWPPP

SWPPP - 2

SHEET
20
OF
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NO	DATE	BY	REVISION

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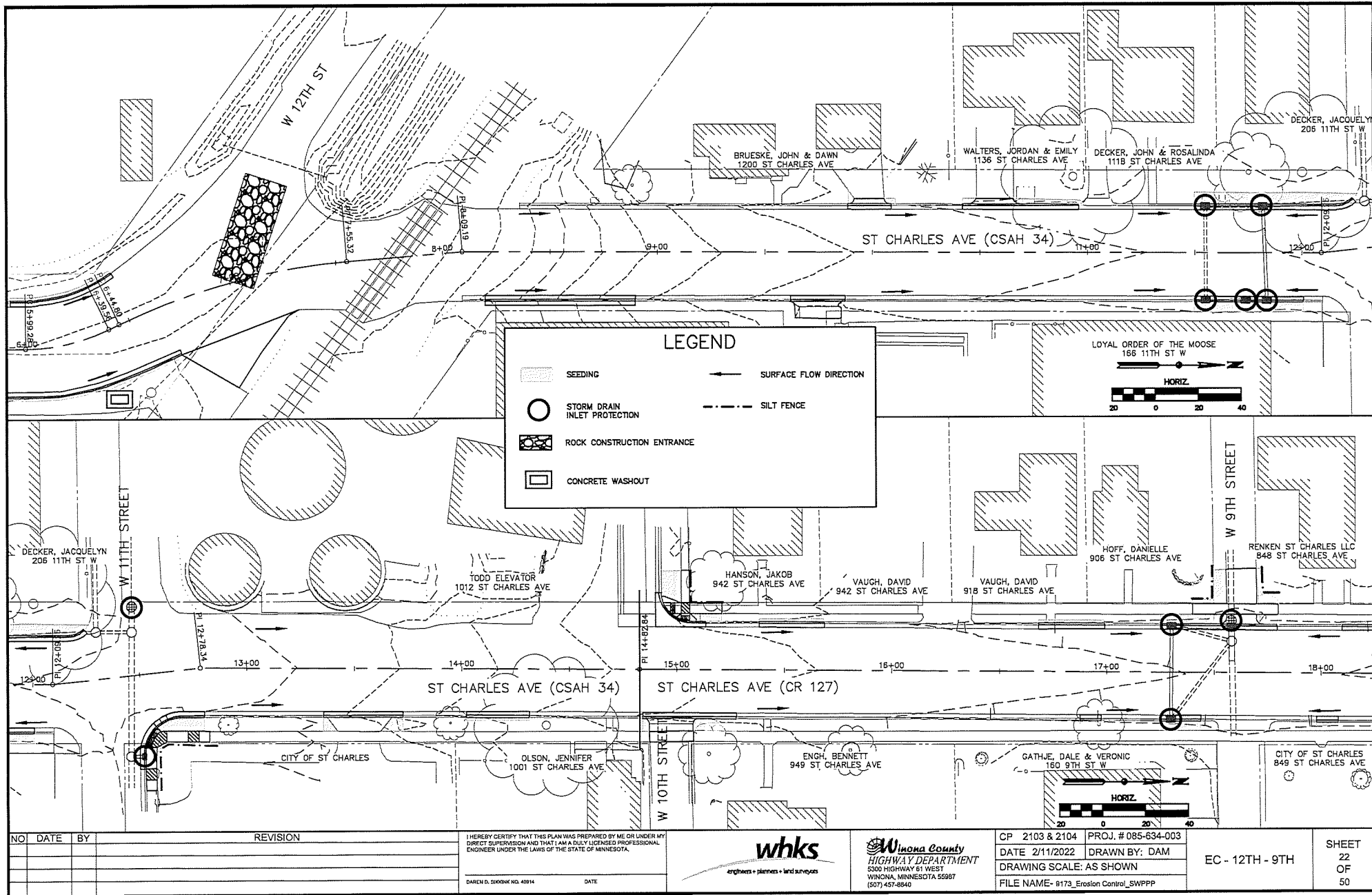
whks
 engineers + planners + land surveys

Winona County
 HIGHWAY DEPARTMENT
 5300 HIGHWAY 61 WEST
 WINONA, MINNESOTA 55987
 (507) 457-8840

CP 2103 & 2104 PROJ. # 085-634-003
 DATE 2/11/2022 DRAWN BY: DAM
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EC - 14TH - 13TH

SHEET
 21
 OF
 50



NO	DATE	BY	REVISION

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DARIN D. SIKONIK NO. 43814 DATE

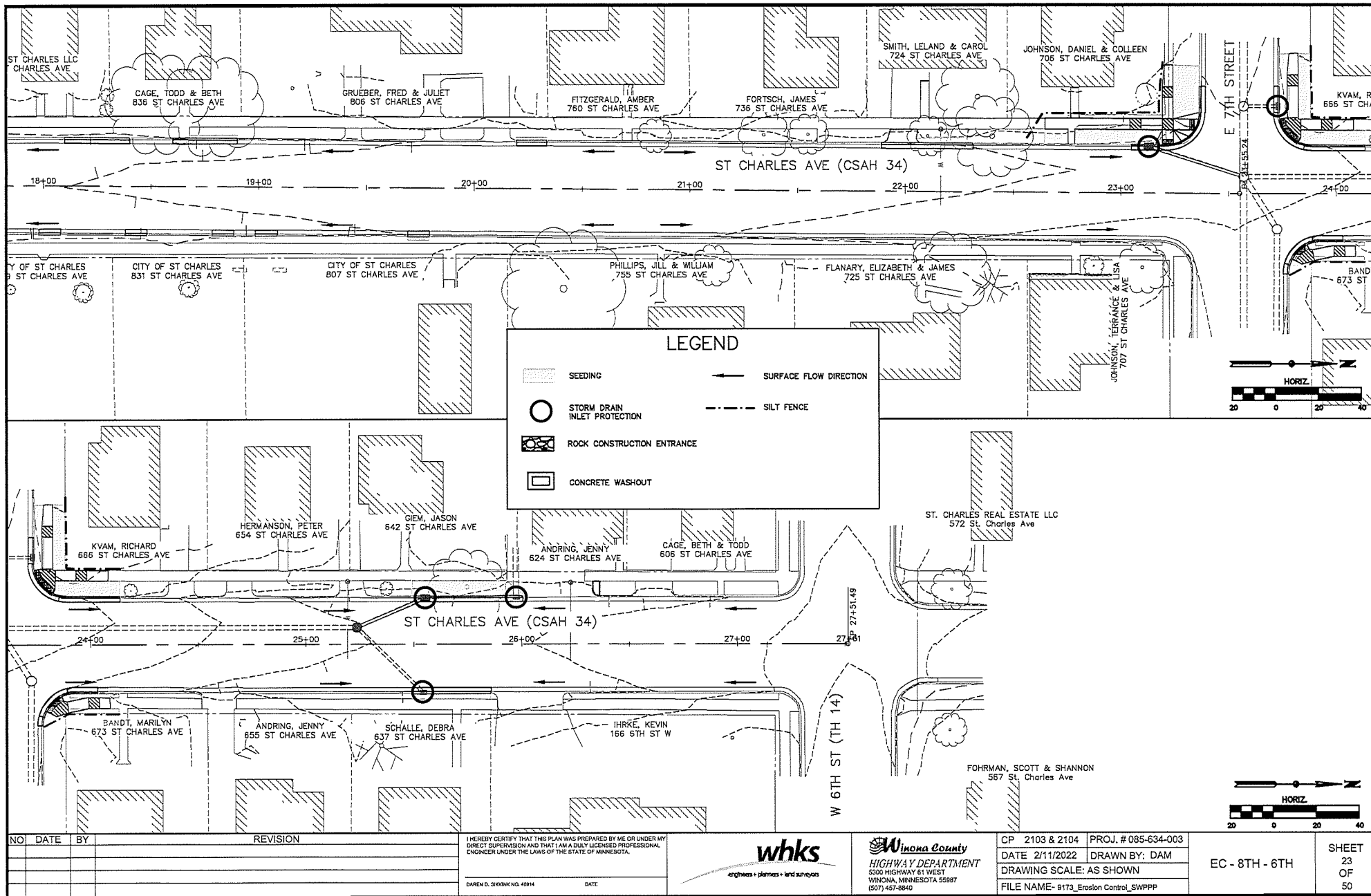
whks
 engineers • planners • land surveys

Winona County
 HIGHWAY DEPARTMENT
 3300 HIGHWAY 61 WEST
 WINONA, MINNESOTA 55907
 (507) 457-8840

CP 2103 & 2104 PROJ. # 085-634-003
 DATE 2/11/2022 DRAWN BY: DAM
 DRAWING SCALE: AS SHOWN
 FILE NAME: 9173_Erosion Control_SWPPP

EC - 12TH - 9TH

SHEET
 22
 OF
 50



NO.	DATE	BY	REVISION

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

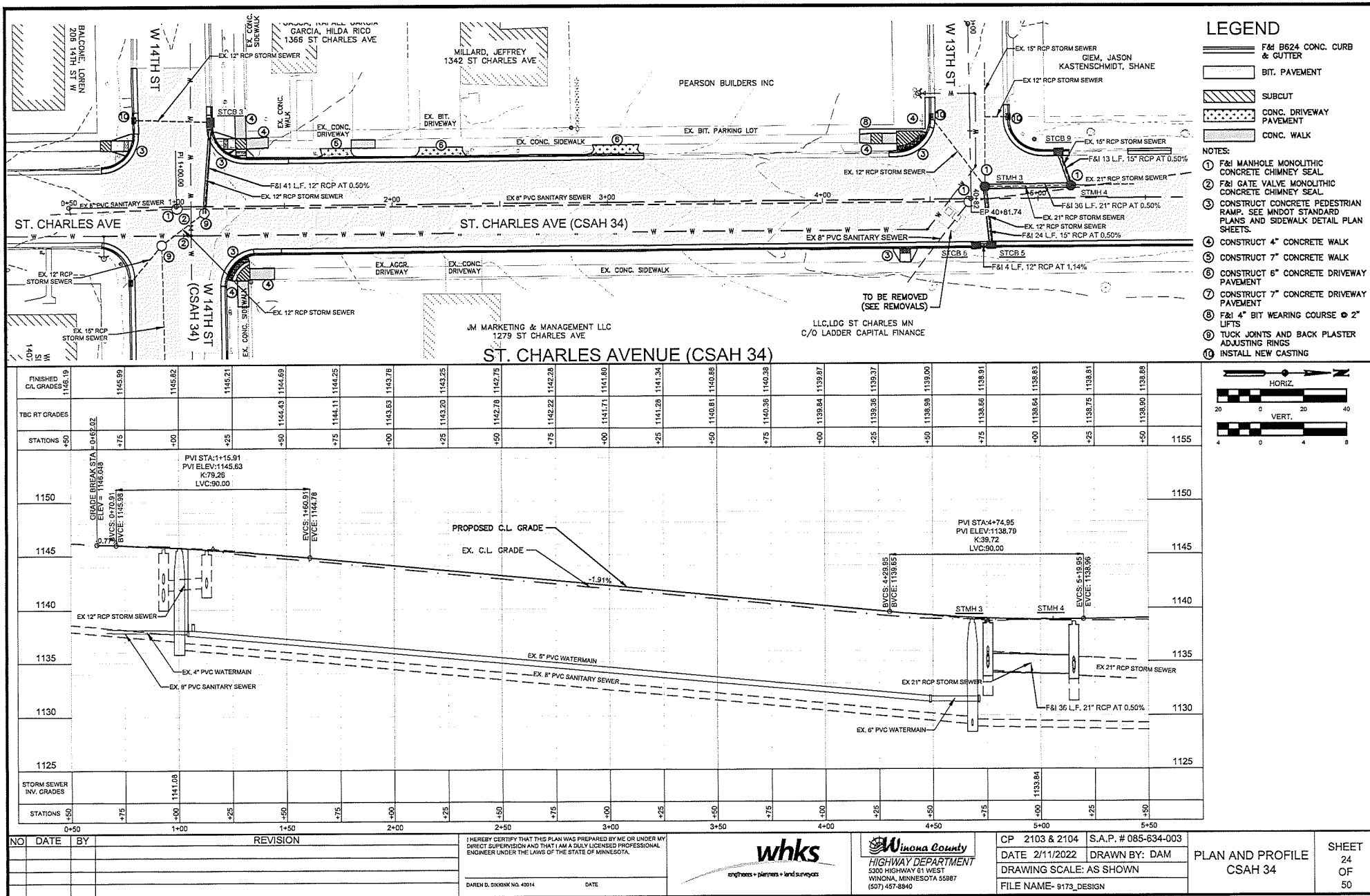
DAREN D. SIKONAK NO. 43814 DATE: _____

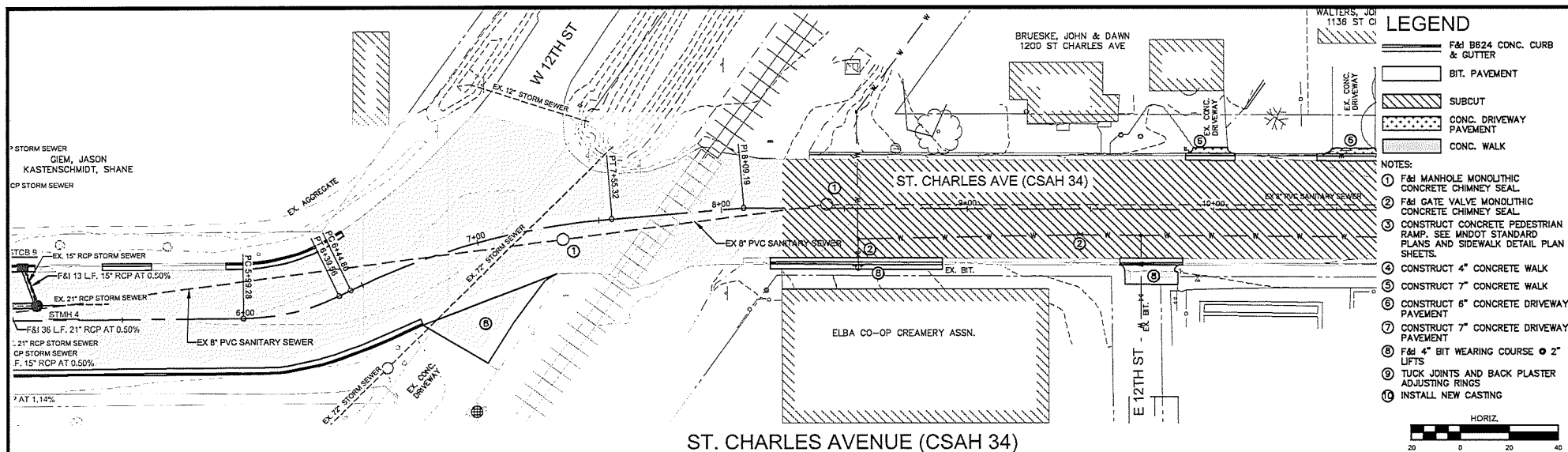


Winona County
HIGHWAY DEPARTMENT
 5300 HIGHWAY 61 WEST
 WINONA, MINNESOTA 55987
 (507) 457-8840

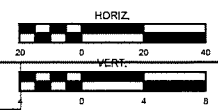
CP 2103 & 2104	PROJ. # 085-634-003
DATE 2/11/2022	DRAWN BY: DAM
DRAWING SCALE: AS SHOWN	
FILE NAME- 9173_Erosion Control_SWPPP	

EC - 8TH - 6TH	SHEET 23 OF 50
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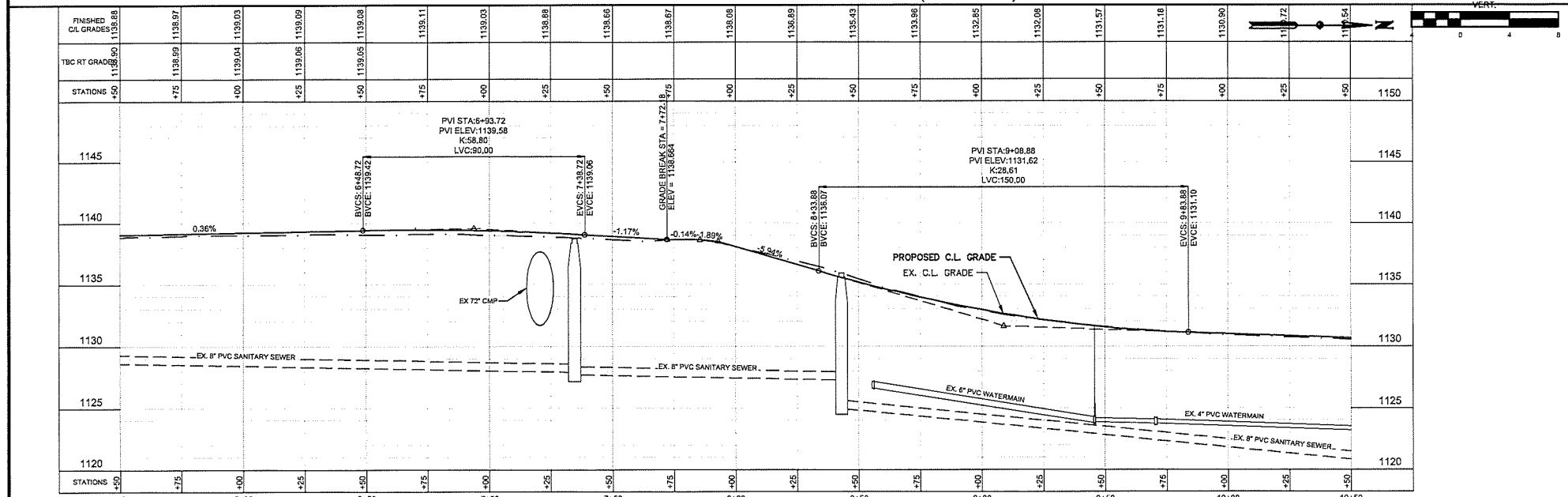




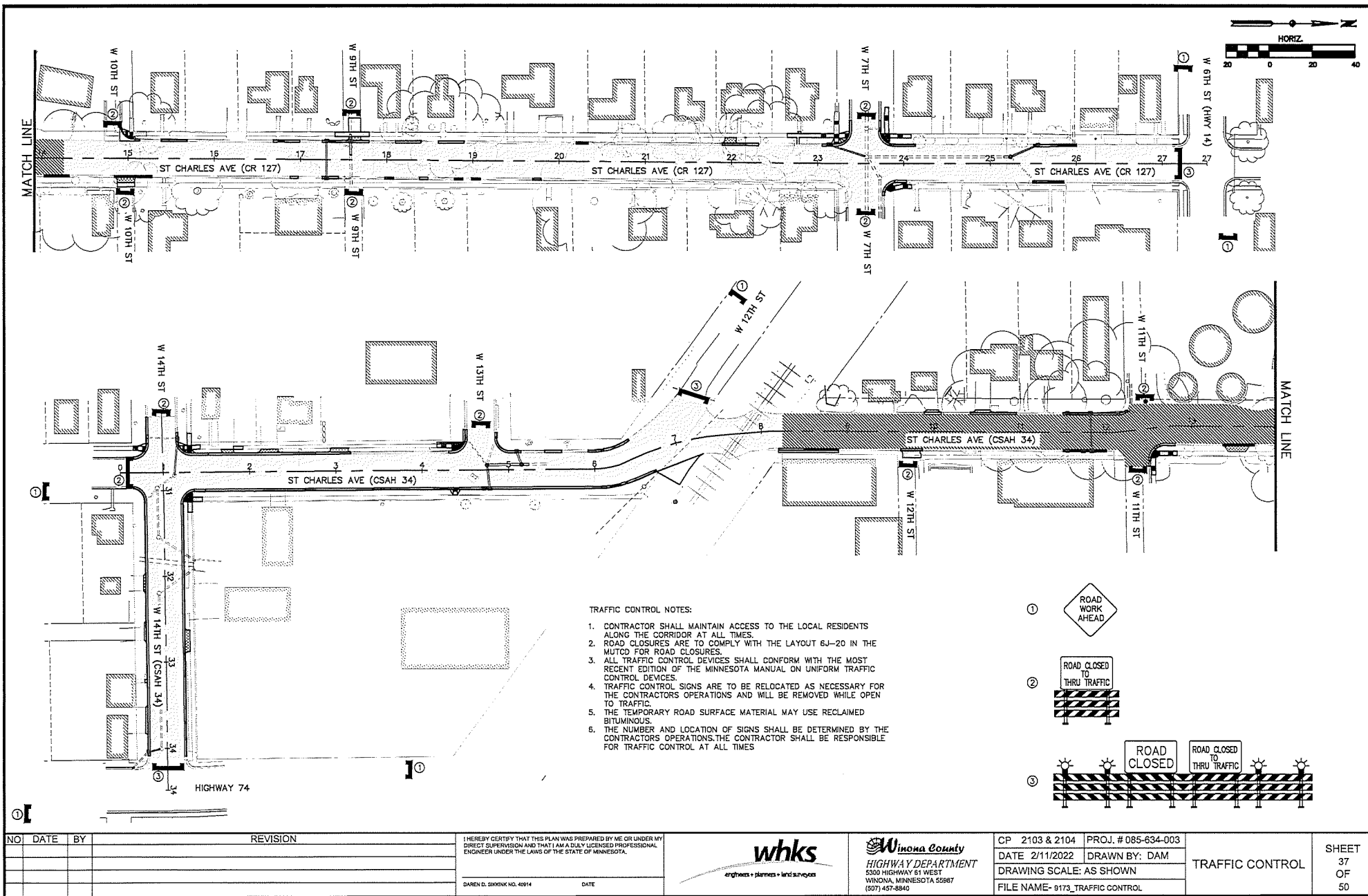
- ### LEGEND
- F&I B&Z4 CONC. CURB & GUTTER
 - BIT. PAVEMENT
 - SUBCUT
 - CONC. DRIVEWAY PAVEMENT
 - CONC. WALK
- NOTES:
- ① F&I MANHOLE MONOLITHIC CONCRETE CHIMNEY SEAL
 - ② F&I GATE VALVE MONOLITHIC CONCRETE CHIMNEY SEAL
 - ③ CONSTRUCT CONCRETE PEDESTRIAN RAMP. SEE MNDOT STANDARD PLANS AND SIDEWALK DETAIL PLAN SHEETS.
 - ④ CONSTRUCT 4" CONCRETE WALK
 - ⑤ CONSTRUCT 7" CONCRETE WALK
 - ⑥ CONSTRUCT 6" CONCRETE DRIVEWAY PAVEMENT
 - ⑦ CONSTRUCT 7" CONCRETE DRIVEWAY PAVEMENT
 - ⑧ F&I 4" BIT WEARING COURSE @ 2" LIFTS
 - ⑨ TUCK JOINTS AND BACK PLASTER ADJUSTING RINGS
 - ⑩ INSTALL NEW CASTING



ST. CHARLES AVENUE (CSAH 34)



NO.	DATE	BY	REVISION	<p> <small>I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.</small> </p> <div> <div> <div>whks</div> <div>engineers + planners + land surveyors</div> </div> <div> <div>Winona County</div> <div>HIGHWAY DEPARTMENT</div> <div>5300 HIGHWAY 61 WEST</div> <div>WINONA, MINNESOTA 55987</div> <div>(507) 457-8840</div> </div> </div>	CP 2103 & 2104 DATE 2/11/2022 DRAWING SCALE: AS SHOWN FILE NAME- 9173_DESIGN	S.A.P. # 085-634-003 DRAWN BY: DAM PLAN AND PROFILE CSAH 34	SHEET 25 OF 50



NO.	DATE	BY	REVISION

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DAREN D. SOOKS INC. NO. 40914 DATE



Winona County
HIGHWAY DEPARTMENT
 5300 HIGHWAY 61 WEST
 WINONA, MINNESOTA 55967
 (507) 457-8840

CP 2103 & 2104 PROJ. # 085-634-003
 DATE 2/11/2022 DRAWN BY: DAM
 DRAWING SCALE: AS SHOWN
 FILE NAME- 9173_TRAFFIC CONTROL

TRAFFIC CONTROL

SHEET 37 OF 50

(Top 3 inches reserved for recording data)

PERMANENT RIGHT OF WAY EASEMENT

This Agreement is made this ____ day of _____, 2022, by and between Patrick Heim, Grantor, and the City of St. Charles, a municipal corporation organized under the laws of the State of Minnesota, 830 Whitewater Avenue, St. Charles, Minnesota 55972 (hereinafter “Grantee”).

AGREEMENT

That for and in consideration of the sum of One Dollar (\$2,400.00) and other good and valuable consideration paid this date by Grantee to Grantor, the receipt and sufficiency of which is hereby acknowledged, the Grantor and Grantee do hereby agree as follows:

1. The undersigned Grantor hereby grants and conveys to the Grantee a Permanent Right of Way Easement for alley/roadway purposes over, under and across real property located in Winona County, Minnesota, described as follows:

The real property described in Exhibit A which is attached hereto and incorporated herein by reference.

The above-described easement area shall be referred to hereinafter as the “Permanent Right of Way Easement.”

2. The above-described Permanent Right of Way Easement is depicted on Exhibit B, which is attached hereto and incorporated herein by reference.
3. The Grantor states and hereby covenants that the Grantor is the lawful owner of the above-described real property, is lawfully seized and possessed of said real estate, and that the

Grantor has good and lawful right to grant the Permanent Easements described herein.
Grantor further covenants that the real property is free and clear of liens and encumbrances.

4. The Grantee shall have the right to make excavations and to grade as it may find reasonably necessary and to construct, install, operate, repair, improve, maintain, replace and reconstruct improvements in the Permanent Easement area.
5. The Grantee and its employees, agents, permittees and licensees shall have the right of ingress to and egress from the Permanent Easement area at all times and without notice to Grantor by such route as shall occasion the least practical damage and inconvenience to the Grantor.
6. The Grantee shall have the right to trim, remove and keep the Permanent Easement area clear of all buildings, structures, roots, shrubbery, trees, bushes, undergrowth and all other obstructions that may interfere with or endanger the Grantee's exercise of any of its rights pursuant to the Permanent Easement granted herein.
7. The Grantor shall not erect, construct or locate in the Permanent Easement area any new structure or object or allow, take or authorize any other action that would in any way interfere with the Grantee's rights as identified herein, prevent the Grantee's reasonable access to the Permanent Easement area, or prevent the public's full enjoyment of the rights granted hereunder, without the written consent of the Grantee.
8. The provisions hereof shall inure to the benefit of and bind the successors and assigns of the respective parties hereto, and all covenants shall apply to and run with the land.
9. This Agreement shall be recorded at the time of its execution with the understanding that the Grantee has complete and absolute sole ownership, use and control of any public facilities and improvements constructed in the Permanent Easement area in accordance with the grant of rights conveyed herein.
10. Grantor and Grantee agree to correct any legal descriptions contained herein if there is a mistake discovered, including any mistakes or discrepancies revealed by an accurate survey of the property identified herein.

IN WITNESS WHEREOF, the parties have hereunto executed this document the day and year first above written.

The Remainder of this Document Intentionally Left Blank

GRANTOR:

Patrick Heim

GRANTEE:

CITY OF ST. CHARLES, MINNESOTA

By: _____
John Schaber, Its Mayor

ATTEST:

By: _____
Nick Koverman, Its City Administrator

STATE OF MINNESOTA)
) ss.
COUNTY OF WINONA)

The foregoing instrument was acknowledged before me this ____ day of _____,
2022, by Patrick Heim, Grantor.

Notary Public

STATE OF MINNESOTA)
) ss.
COUNTY OF WINONA)

The foregoing instrument was acknowledged before me this ____ day of _____,
2022, by John Schaber, as Mayor, and Nick Koverman, as City Administrator, for and on behalf
of the City of St. Charles, a municipal corporation under the laws of the State of Minnesota,
Grantee.

Notary Public

THIS INSTRUMENT DRAFTED BY:

Michael E. Flaherty
St. Charles City Attorney
Flaherty & Hood, P.A.
111 Riverfront, Suite 306
Winona MN 55987
Phone: 507-205-4905

EXHIBIT A

LEGAL DESCRIPTION OF PERMANENT RIGHT OF WAY/ALLEY EASEMENT

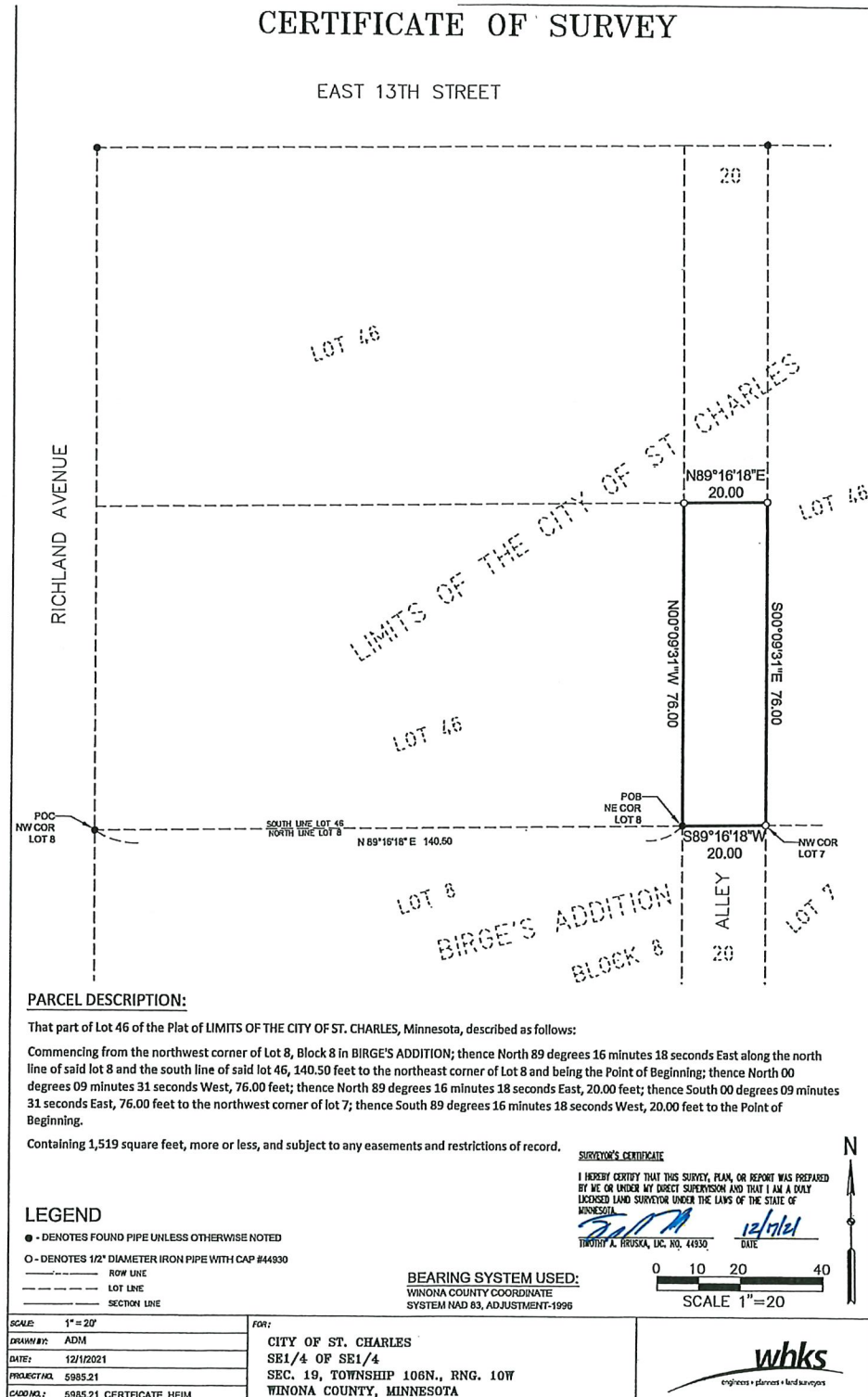
That part of Lot 46 of the Plat of LIMITS OF THE CITY OF ST. CHARLES, Minnesota, described as follows:

Commencing from the northwest corner of Lot 8, Block 8 in BIRGE'S ADDITION; thence North 89 degrees 16 minutes 18 seconds East along the north line of said lot 8 and the south line of said lot 46, 140.50 feet to the northeast corner of Lot 8 and being the Point of Beginning; thence North 00 degrees 09 minutes 31 seconds West, 76.00 feet; thence North 89 degrees 16 minutes 18 seconds East, 20.00 feet; thence South 00 degrees 09 minutes 31 seconds East, 76.00 feet to the northwest corner of lot 7; thence South 89 degrees 16 minutes 18 seconds West, 20.00 feet to the Point of Beginning.

Containing 1,519 square feet, more or less, and subject to any easements and restrictions of record.

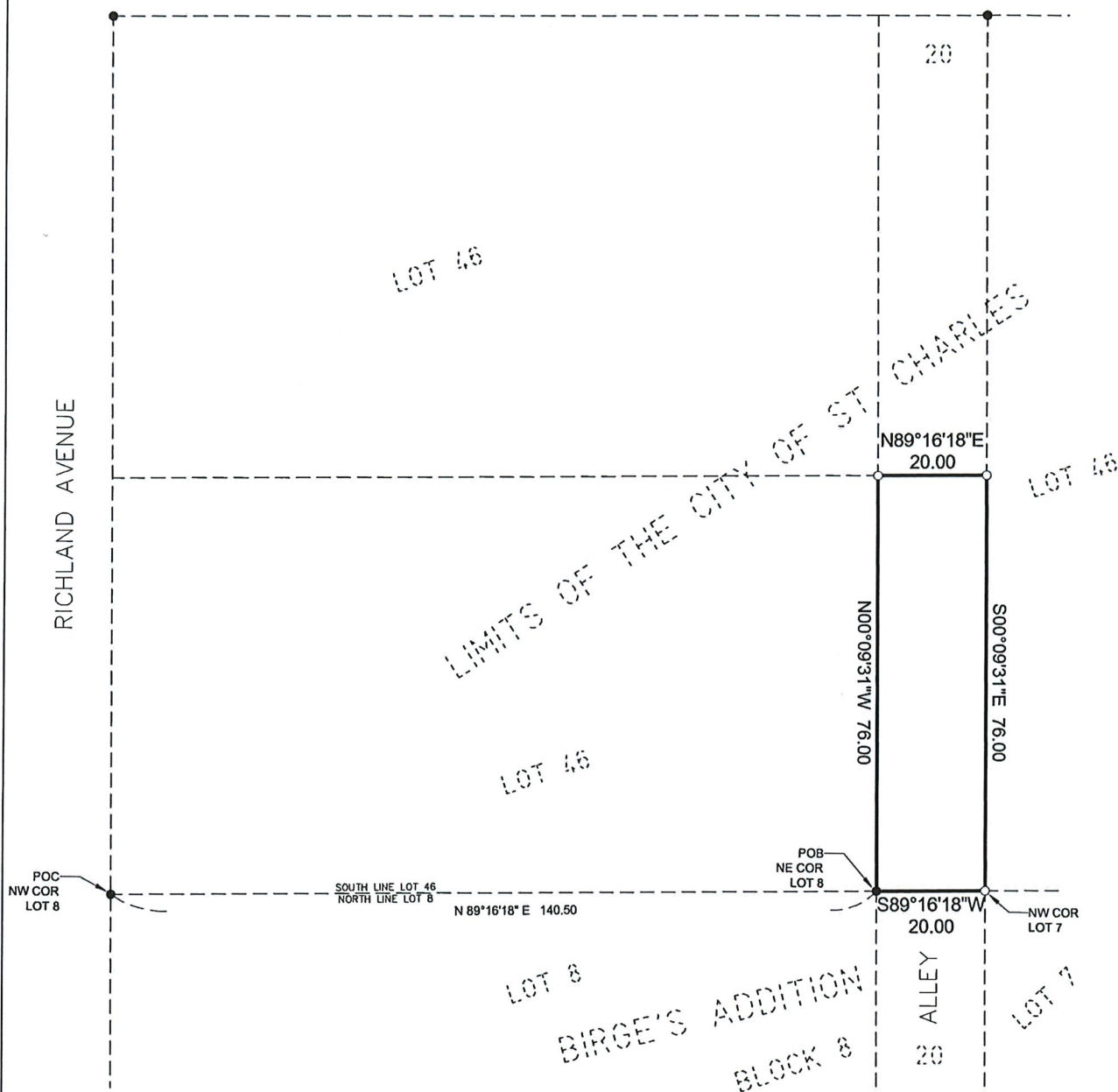
EXHIBIT B

DEPICTION OF PERMANENT RIGHT OF WAY/ALLEY EASEMENT



CERTIFICATE OF SURVEY

EAST 13TH STREET



PARCEL DESCRIPTION:

That part of Lot 46 of the Plat of LIMITS OF THE CITY OF ST. CHARLES, Minnesota, described as follows:

Commencing from the northwest corner of Lot 8, Block 8 in BIRGE'S ADDITION; thence North 89 degrees 16 minutes 18 seconds East along the north line of said lot 8 and the south line of said lot 46, 140.50 feet to the northeast corner of Lot 8 and being the Point of Beginning; thence North 00 degrees 09 minutes 31 seconds West, 76.00 feet; thence North 89 degrees 16 minutes 18 seconds East, 20.00 feet; thence South 00 degrees 09 minutes 31 seconds East, 76.00 feet to the northwest corner of lot 7; thence South 89 degrees 16 minutes 18 seconds West, 20.00 feet to the Point of Beginning.

Containing 1,519 square feet, more or less, and subject to any easements and restrictions of record.

LEGEND

- - DENOTES FOUND PIPE UNLESS OTHERWISE NOTED
- - DENOTES 1/2" DIAMETER IRON PIPE WITH CAP #44930
- ROW LINE
- LOT LINE
- SECTION LINE

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

TIMOTHY A. HRUSKA, LIC. NO. 44930

12/7/21
DATE

BEARING SYSTEM USED:
WINONA COUNTY COORDINATE
SYSTEM NAD 83, ADJUSTMENT-1996

0 10 20 40
SCALE 1"=20'



SCALE: 1" = 20'
DRAWN BY: ADM
DATE: 12/1/2021
PROJECT NO.: 5985.21
CADD NO.: 5985.21_CERTIFICATE_HEIM

FOR:
CITY OF ST. CHARLES
SE1/4 OF SE1/4
SEC. 19, TOWNSHIP 106N., RNG. 10W
WINONA COUNTY, MINNESOTA

whks
engineers • planners • land surveyors

2905 South Broadway
Rochester, MN 55904-5515
Phone: 507.288.3923
Fax: 507.288.2675
Email: rochester@whks.com
Website: www.whks.com



February 15, 2022

Mr. Nick Koverman
City of St. Charles
830 Whitewater Avenue
St. Charles, MN 55972

RE: St. Charles, MN
Chattanooga Water Tower
Pay Request 8

Dear Mr. Koverman :

Enclosed is Pay Request No. 8 for work on the above referenced project. We recommend payment in the amount of \$11,558.00 to:

Maguire Iron, Inc.
P.O. Box 1446
Sioux Falls, SD 57101

Please contact me if you have any questions.

Sincerely,

WHKS & co.

A handwritten signature in cursive script, appearing to read 'Eric Tourdot'.

Eric Tourdot, P.E.

EAT/et

Enclosures

cc: Kyle Karger, City of St. Charles, MN
Bret Teymer, Maguire Iron, Inc.

**Request for City Council Action**Date: Feb. 17, 2022Requested Council Date: Feb. 22, 2022Originating Department: StreetCouncil Action Requested: Sign Universal Truck Plow Package (No payment required)Background Information: Plow Package Price (\$116,824.00)

If the City signs now the equipment for the truck will be ordered and steel and all prices locked in for 2023.

This includes the finishing package for the truck ordered which includes: box, plow, wing, sander, LED lights and strobes, plus all accessories needed for a completed plow truck.

Public Works Foreman Scott Bunke priced out what was on his truck being traded in, which includes base unit pieces needed for a good plow package.

Truck \$137,050.00

Plow Package \$116,824.00

Total: \$253,874.00

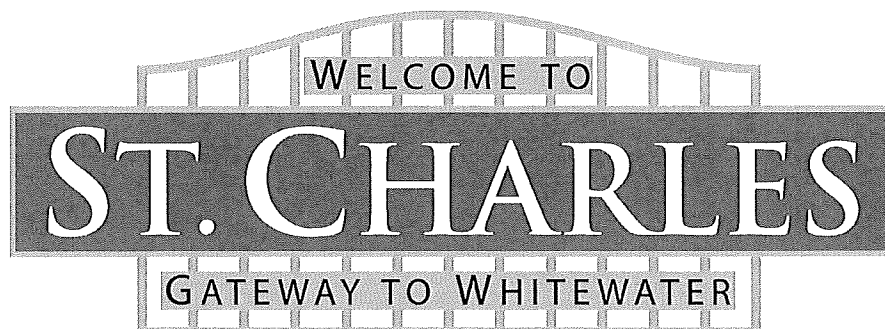
Less City estimated \$40,000.00 trade in:

New total : \$213,874.00

City down payment: \$10,000.00 down on truck = new total \$203,874.00

Budgeted for 2023 is \$200,000.00 plus the State's Small Cities Program dollars.

No payment is required to hold or order the items.



**Request for City Council Action**

Date: February 22, 2022

Requested Council Date: February 22, 2022

Originating Department: Police Department & Administration

Council Action Requested: Student Intern Offer to Janette Madrigal

Background Information

In May of 2021, the St. Charles City Council approved the St. Charles Police Department to start a student internship program available to college students who are enrolled in a law enforcement or criminal justice degree program. Once again, the program has a very minimal cost to obtain a Microsoft Office license so the intern can have e-mail access and access to other Microsoft apps such as Microsoft Word, Excel, and Power Point. The funds to pay for the Microsoft license will come out of the department's budget.

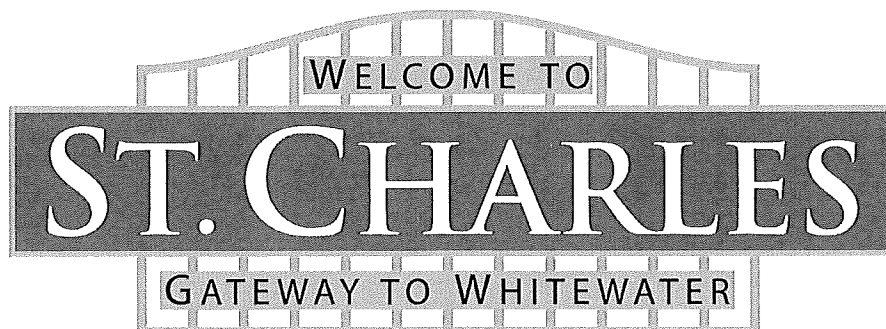
This year, the St. Charles Police Department would like to continue the program as it proved to be very beneficial, not only for the student in helping them meet their college credit requirements and gaining first-hand experience, but also for the department, as our last intern assisted officers during their shifts, assisted with traffic control during community events, participated and helped organizing community events, and assisted in numerous projects within the department.

This year the St. Charles Police Department would like to offer the internship spot to Janette Madrigal. Janett grew up in the city of Chicago, Illinois, and she is currently a Senior at St. Mary's University in Winona where she is pursuing her Bachelor's degree in Law Enforcement and Criminal Justice. Currently, Janette volunteers her time off as a Police Reserve Officer for the City of Red Wing Police Department and works as a Head Cashier at Menards in Winona.

Chief Pelaez conducted a personal interview with Janette and has finalized her background check. All of Janette's current and past supervisors spoke highly of her. Further, Janette's work ethic and life-long passion for law enforcement work would make her a great fit for the intern position.

Request for action

I respectfully request the council's approval to hire Janette Madrigal as the new police department's student intern.



LIABILITY COVERAGE – WAIVER FORM

Members who obtain liability coverage through the League of Minnesota Cities Insurance Trust (LMCIT) must complete and return this form to LMCIT before the member's effective date of coverage. Return completed form to your underwriter or email to pstech@lmc.org.

The decision to waive or not waive the statutory tort limits must be made annually by the member's governing body, in consultation with its attorney if necessary.

Members who obtain liability coverage from LMCIT must decide whether to waive the statutory tort liability limits to the extent of the coverage purchased. The decision has the following effects:

- *If the member does not waive the statutory tort limits, an individual claimant could recover no more than \$500,000 on any claim to which the statutory tort limits apply. The total all claimants could recover for a single occurrence to which the statutory tort limits apply would be limited to \$1,500,000. These statutory tort limits would apply regardless of whether the member purchases the optional LMCIT excess liability coverage.*
- *If the member waives the statutory tort limits and does not purchase excess liability coverage, a single claimant could recover up to \$2,000,000 for a single occurrence (under the waive option, the tort cap liability limits are only waived to the extent of the member's liability coverage limits, and the LMCIT per occurrence limit is \$2,000,000). The total all claimants could recover for a single occurrence to which the statutory tort limits apply would also be limited to \$2,000,000, regardless of the number of claimants.*
- *If the member waives the statutory tort limits and purchases excess liability coverage, a single claimant could potentially recover an amount up to the limit of the coverage purchased. The total all claimants could recover for a single occurrence to which the statutory tort limits apply would also be limited to the amount of coverage purchased, regardless of the number of claimants.*

Claims to which the statutory municipal tort limits do not apply are not affected by this decision.

LMCIT Member Name: _____

Check one:

☒ The member **DOES NOT WAIVE** the monetary limits on municipal tort liability established by Minn. Stat. § 466.04.

☐ The member **WAIVES** the monetary limits on municipal tort liability established by Minn. Stat. § 466.04, to the extent of the limits of the liability coverage obtained from LMCIT.

Date of member's governing body meeting: _____

Signature: _____ Position: _____

**Request for City Council Action**

Date: Feb. 17, 2022

Requested Council Date: Feb. 22, 2022

Originating Department: Administration

Council Action Requested: Purchase of 10 replacement garbage cans

Background Information: The city has been replacing garbage cans as needed or else two a year as budget allowed. There are six older trash receptacles along Whitewater Avenue along with two closer to the library area. Consideration is requested to replace those 8 units to finish the conversion so that all trash are similar. In addition, two additional receptacles will be purchased to be placed in City Hall Park as part of the green space. Older units that are not cracked and in good working order will be used in other less visible locations (i.e. trail segments along with the new benches/bike racks).

Previously funds had been used from the Capital Improvement Fund or Park repair and maintenance fund. In considering a larger purchase, the garbage fund seems a more logical reinvestment of those dollars. Currently, the reserve garbage fund is at \$23,000 and approximately \$8,000 was generated in revenues in 2021 (unaudited).

A price from our vendor was provided for 10 units at \$7,408.88. Steel costs and powder coating service were up, while the construction labor rate remained unchanged. A comparable unit from another vendor is \$1,280 per unit plus \$231/unit shipping costs.

